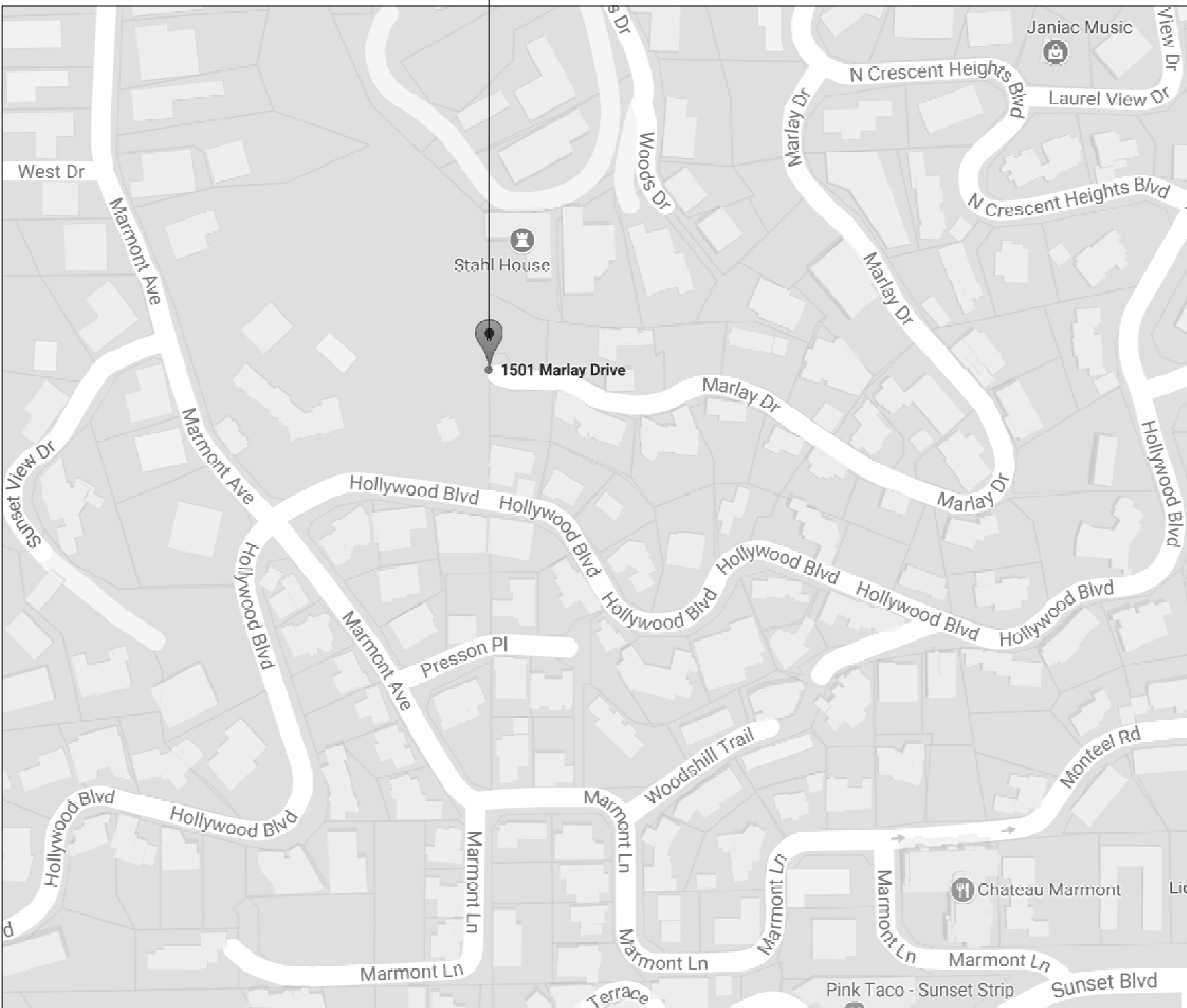


RETAINING WALL INFORMATION					
WALL	MAX. HEIGHT	LENGTH*	LENGTH IN PUBLIC R.O.W.	LENGTH IN FRONT YARD	NOTES
A-ROOF	22'-1 1/2"	58'-4"	-	-	TAKEN FROM ROOF DECK
A-DRVWAY	22'-10 1/4"	(see above)	10'-11 1/2"	6'-11"	TAKEN FROM ADJACENT GRADE
B	35'-4"	60'-1 1/2"	-	-	TAKEN FROM ROOF DECK
C	26'-11 1/2"	7'-1"	-	-	TAKEN FROM POOL DECK
TOTAL	-	125'-6 1/2"	-	-	

* NOTE: LINEAR DIMENSIONS TAKEN FROM BACK OF RETAINING WALLS

PROJECT SITE



VICINITY MAP

ADJACENT PROPERTY:
NO EXISTING
STRUCTURES WITHIN
50' OF PROPERTY LINE

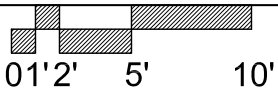
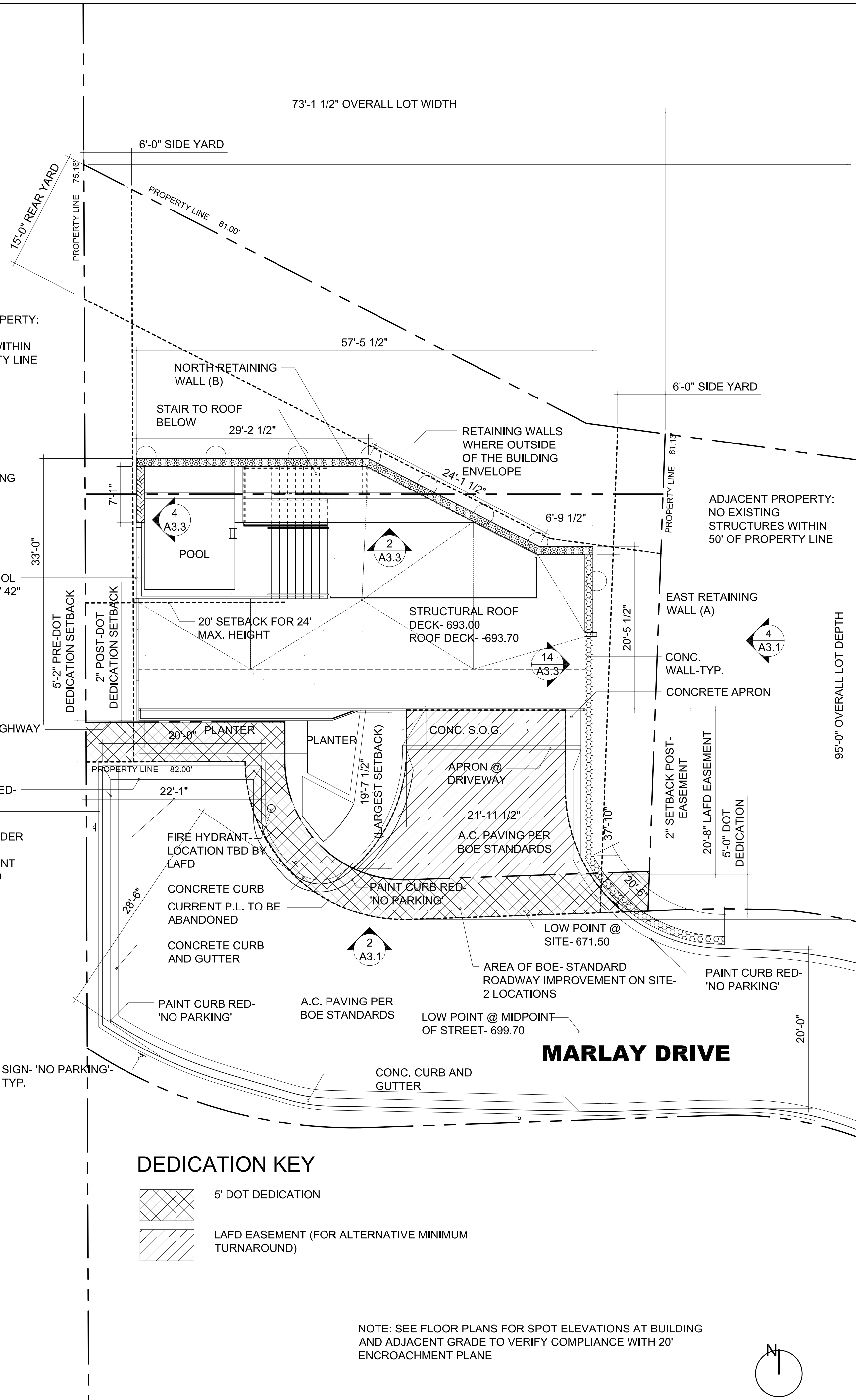
WEST RETAINING
WALL (C)

CONCRETE POOL
DECK EDGE W/ 42"
GUARD

NEW P.L. W/ HIGHWAY
DEDICATION

PAINT CURB RED-
'NO PARKING'

FRONTAGE UNDER
REQUEST FOR
REDUCED FRONT
YARD PER ZAD



SITE PLAN
SCALE: 1/8" = 1'-0"

NOTE: SEE FLOOR PLANS FOR SPOT ELEVATIONS AT BUILDING
AND ADJACENT GRADE TO VERIFY COMPLIANCE WITH 20'
ENCROACHMENT PLANE

INDEX OF DRAWINGS

- A0.1- COVER SHEET/SITE PLAN
- A0.2- ZONING DIAGRAMS
- A1.1- FLOOR PLANS
- A1.2- FLOOR PLANS/ROOF PLAN
- A3.1- EXTERIOR ELEVATIONS
- A3.2- RENDERINGS
- A3.3- RETAINING WALL ELEVATIONS
- A4.1- BUILDING AND SITE SECTIONS
- A4.2- BUILDING AND SITE SECTIONS
- L1.0- LANDSCAPE PLAN
- L1.1- LANDSCAPE FORMS
- L2.0- IRRIGATION PLAN
- L2.1- TOPOGRAPHIC SURVEY
- L2.1- SLOPE ANALYSIS MAP

SCOPE OF WORK

3,100 S.F. NEW 1 STORY SINGLE FAMILY RESIDENCE WITH BASEMENT AND
SUB BASEMENT: BASEMENT LEVEL W/GARAGE, FIRST LEVEL WITH DECKS,
ROOF DECK, & POOL.

NO TREES WILL BE IMPACTED BY THIS DEVELOPMENT

PROJECT DATA

LEGAL DESCRIPTION:	LOT 1, TRACT TR 12204 MAP SHEET PAGE 148-5A/75
PIN NUMBER:	148-5A 175 314
APN:	5556031004
DISTRICT MAP:	MB 230-40/41
LOT TYPE:	IRREGULAR
LOT SIZE:	5,025.8 SQUARE FEET
COUNCIL DISTRICT:	CD 4-DAVID RYU
CENSUS TRACT:	1942.00
ZONE:	R1-1
ZONING INFORMATION:	HILLSIDE AREA BASELINE HILLSIDE ORDINANCE
HILLSIDE GRADING AREA:	YES
FRONT YARD:	5 FEET MAX. OR PREVAILING
REAR YARD:	15 FEET
SIDE YARDS:	10% LOT WIDTH- 5' MAX. +1' TO 3' MIN.
OFF STREET PARKING:	2 COVERED
OCCUPANCY GROUP:	R-3
NUMBER OF STORIES:	2
ENVELOPE HEIGHT LIMIT:	28' 24" WITHIN 20 FEET OF PROP. LINE
MAXIMUM BUILDING HEIGHT LIMIT:	45'
MAXIMUM BUILDING HEIGHT:	28'-2-1/2" NOT INCLUDING BACK IMPACT WALL
ALLOWED RESIDENTIAL FLOOR AREA (SLOPE ANALYSIS): (* SEE SECTION 12.02 BELOW)	1,206 S.F.
PROPOSED RESIDENTIAL FLOOR AREA: (*SEE SECTION 12.02 BELOW)	1,201 S.F. BASEMENT LEVEL DOES NOT CONTRIBUTE TO RFA SUB-BASEMENT LEVEL DOES NOT CONTRIBUTE TO RFA
PROPOSED TOTAL RESIDENTIAL FLOOR AREA: 3,100 S.F. (948 + 951 + 1,201) (* SEE SECTION 12.02 BELOW)	SUB-BASEMENT LEVEL: 948 S.F. (W/O STAIR @ 79 S.F.) BASEMENT LEVEL RESIDENTIAL: 951 SF (W/O STAIR @ 79 S.F.) BASEMENT LEVEL GARAGE: 414 SF FIRST LEVEL RESIDENTIAL: 1,201 SF (STAIR COUNTED) ROOF: 0 SF

PER SECTION 12.02 - IS THAT AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR
WALLS OF A BUILDING BUT NOT INCLUDING THE AREA OF THE FOLLOWING:
EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING OPERATING
EQUIPMENT OR MACHINERY, PARKING AREAS ASSOCIATED DRIVEWAY & RAMPS, SPACE
FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

APPLICABLE CODES

- CITY OF LOS ANGELES PLANNING AND ZONING CODE
- 2016 CITY OF LOS ANGELES AMENDED BUILDING CODE
- 2016 CITY OF LOS ANGELES AMENDED MECHANICAL CODE
- 2016 CITY OF LOS ANGELES AMENDED PLUMBING CODE
- 2016 CITY OF LOS ANGELES AMENDED ELECTRICAL CODE
- 2016 CITY OF LOS ANGELES AMENDED GREEN BUILDING CODE

CONSULTANTS

Architect	Paul Coleman, Architect 1081 North Granada Drive Orange, California 92869 m 213.700.2297
SURVEY/SLOPE MAP	Voorheis & Voorheis 17049 Sunburst Street Northridge, California 91325 818.993.5611
Civil Engineer	JK & Associates 1295 Los Angeles Street Glendale, CA 91204 (818)907-9881
Structural Engineer	Structural Design Plus, Inc. 15053 Ventura Blvd, Suite 205 Sherman Oaks, CA 91403 (818)905-9871
Title 24 Energy Documentation	Structural Design Plus, Inc. 15053 Ventura Blvd, Suite 205 Sherman Oaks, CA 91403 (818)905-9871
Landscape Architect	Lewis & Associates Landscape Architecture 13351-D Riverside Drive #445 Sherman Oaks, CA 91423 T: 818-788-9382 F: 818-788-3217

PROJECT INFO
SCALE: NTS

PAUL@LUCOL.COM

213 700 2297

92869

1081 NORTH GRANADA DRIVE, ORANGE CALIFORNIA 92869

PAUL COLEMAN, ARCHITECT

COVER SHEET/SITE PLAN

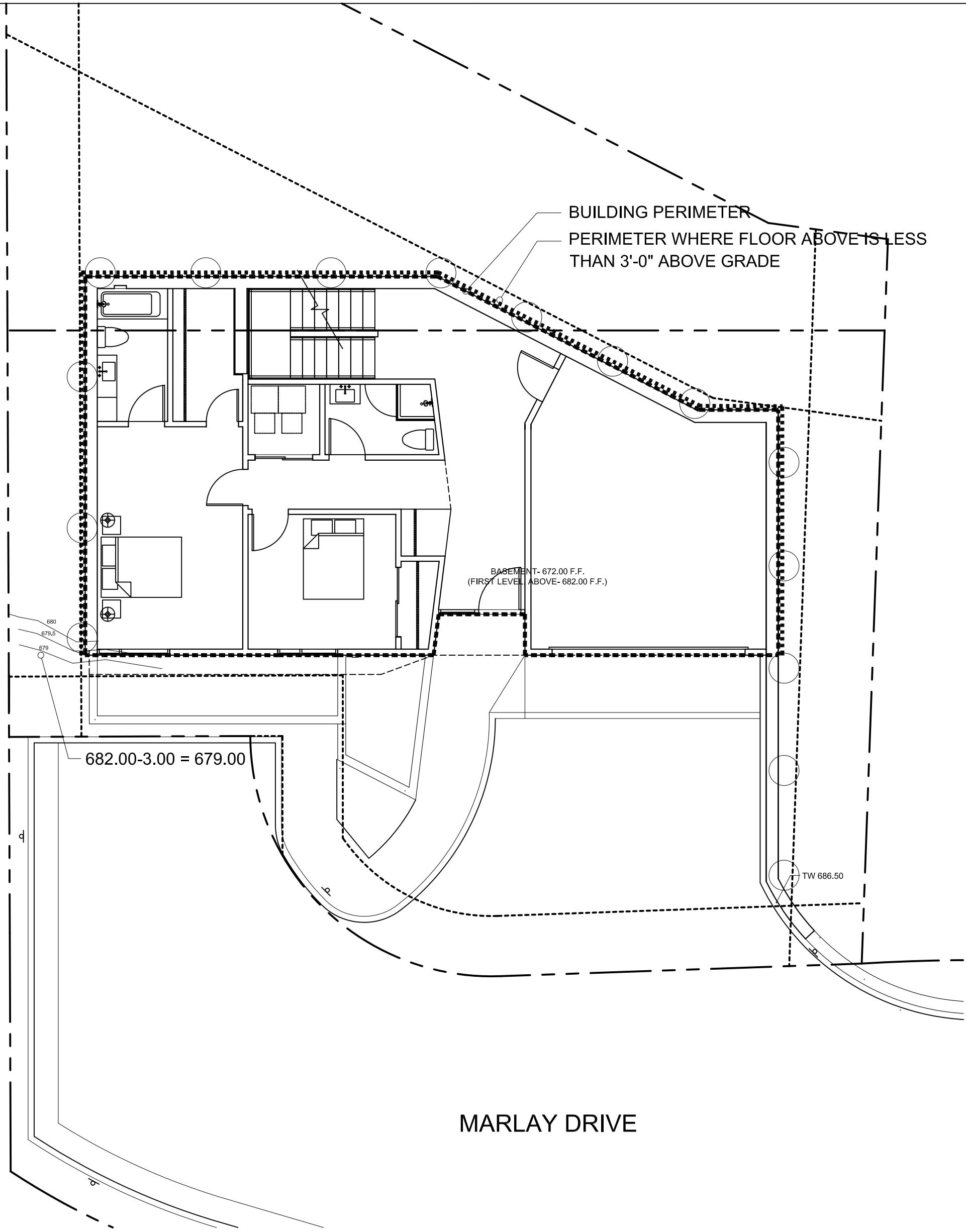
29 MARCH, 2019

Hillside Residence

1501 Marlay Drive

Los Angeles, California 90069

A0.1



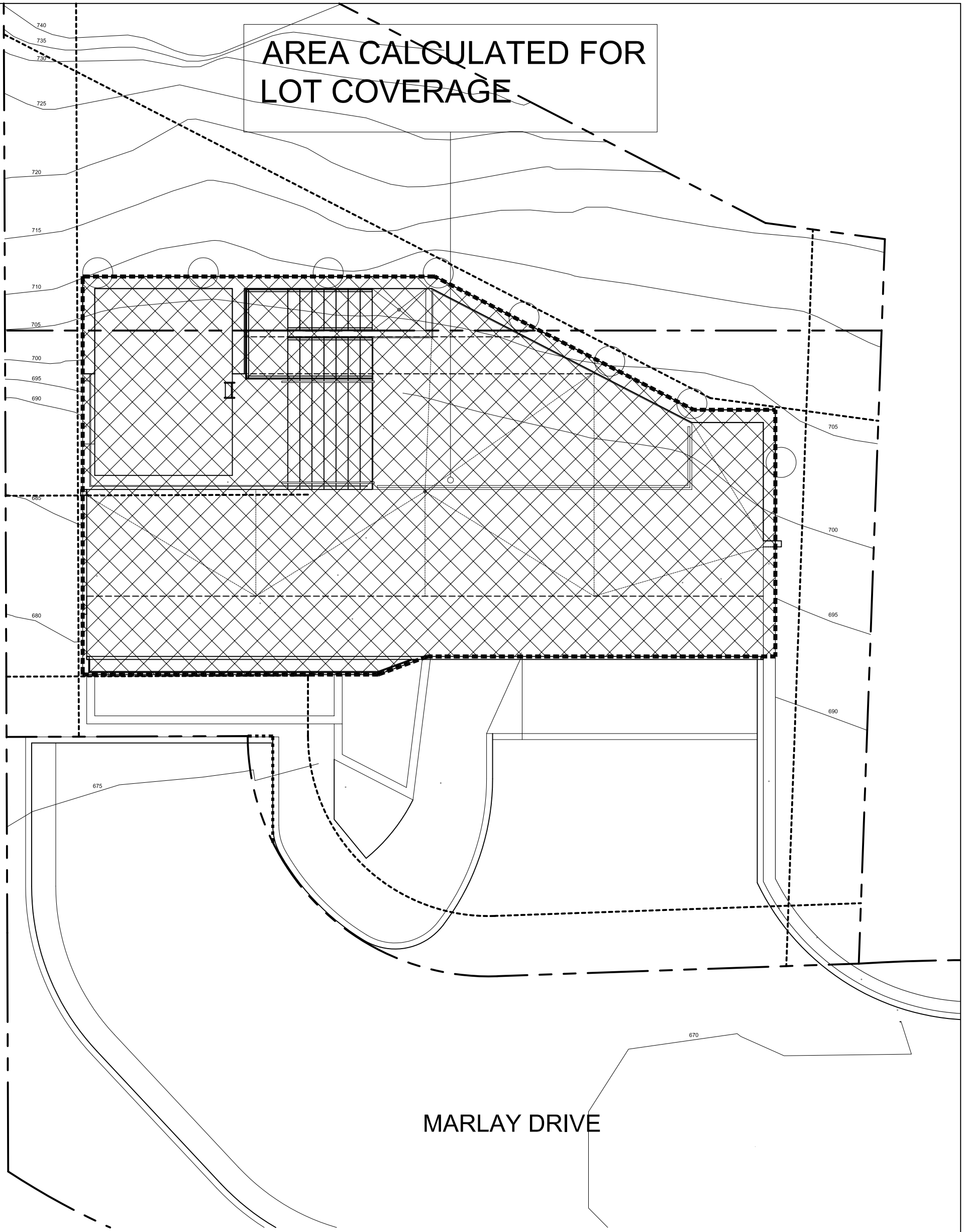
FLOOR PLAN
SCALE: 1/8" = 1'-0"

BASEMENT CALCULATION

TOTAL LENGTH = 175.75

LENGTH WHERE FLOOR ABOVE IS < 3'-0" ABOVE GRADE = 111.75

111.75/175.75= 63.58% >60% OK



SITE PLAN
SCALE: 1/8" = 1'-0"

LOT COVERAGE AREA

LOT AREA = 5,025.8 SQUARE FEET

LOT COVERAGE = 1,657.2 SQUARE FEET

1,657.2 S.F. / 5,025.8 S.F. = 0.33

LOT COVERAGE = 33% < 40%- OK

PREVAILING SETBACK CALCULATOR:

Add Lot

Enter the Lot information after adding rows:

Lot	Frontage (ft)	Setback (ft)	
5	77.1		x
6	79.6	1	x
7	73.46		x
34	90.22	0	x
35	70	2	x
15	84.41	7.5	x
16	37.91	29	x
17	52.56	6.5	x

Clear

Calculate

Results

Number of lots: 8

Prevailing Setback: 3.40 ft

Calculation

Total no of lots entered: 8

Total frontage entered: 565.26 ft

40% from total frontage entered: 226.10 ft

No of lots used in the calculation: 5

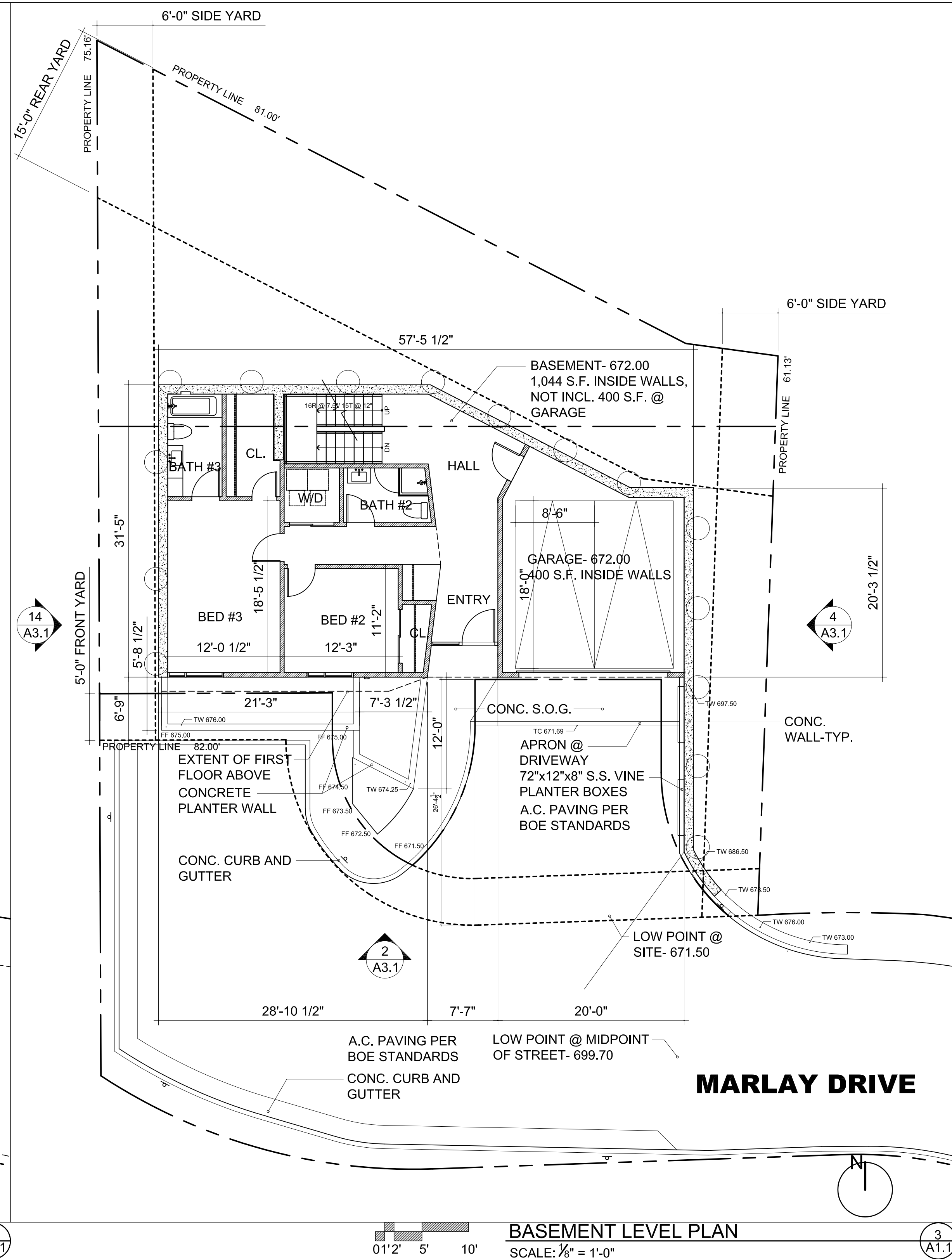
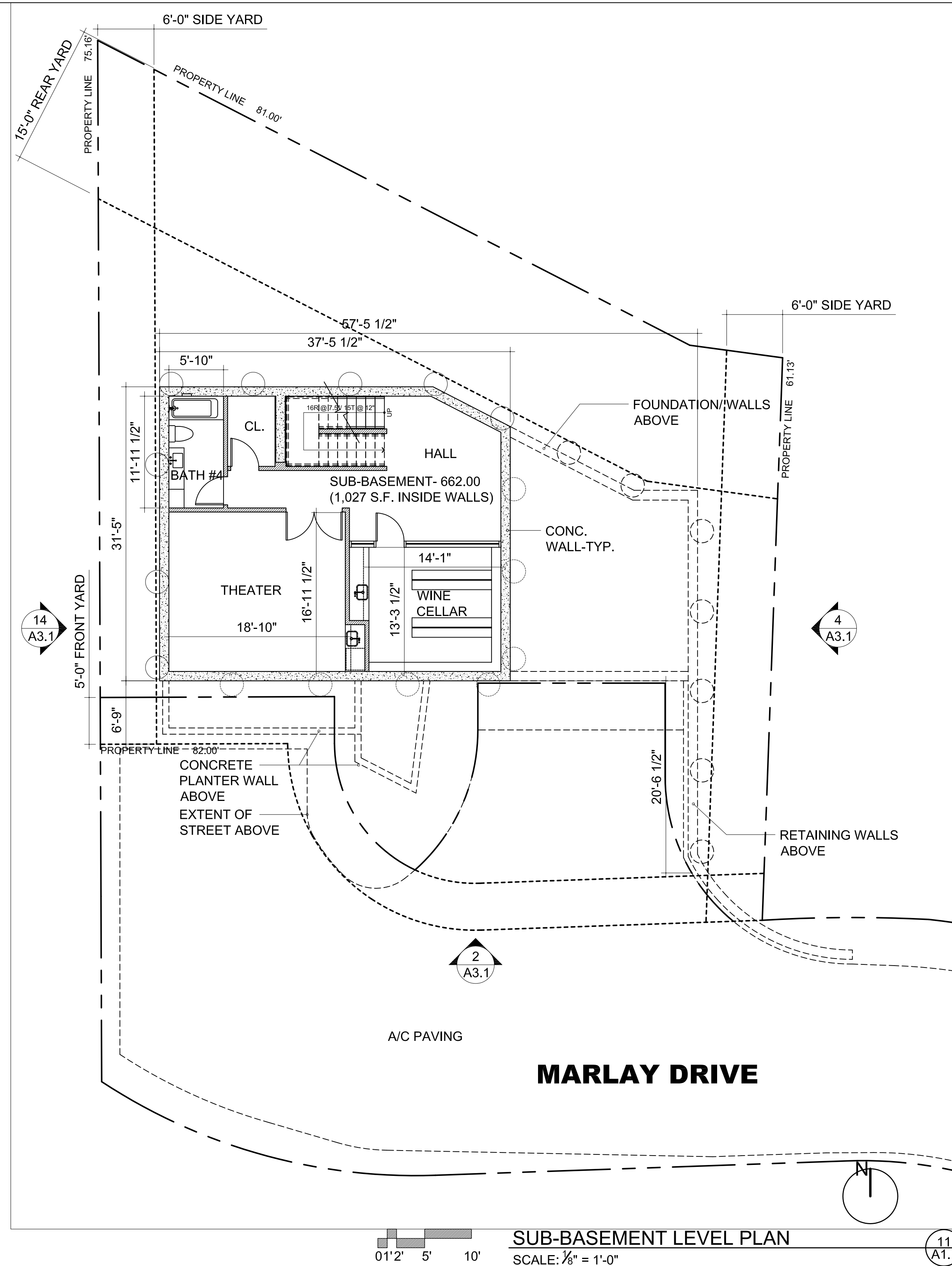
Setback range used: 0.00 ft - 7.50 ft

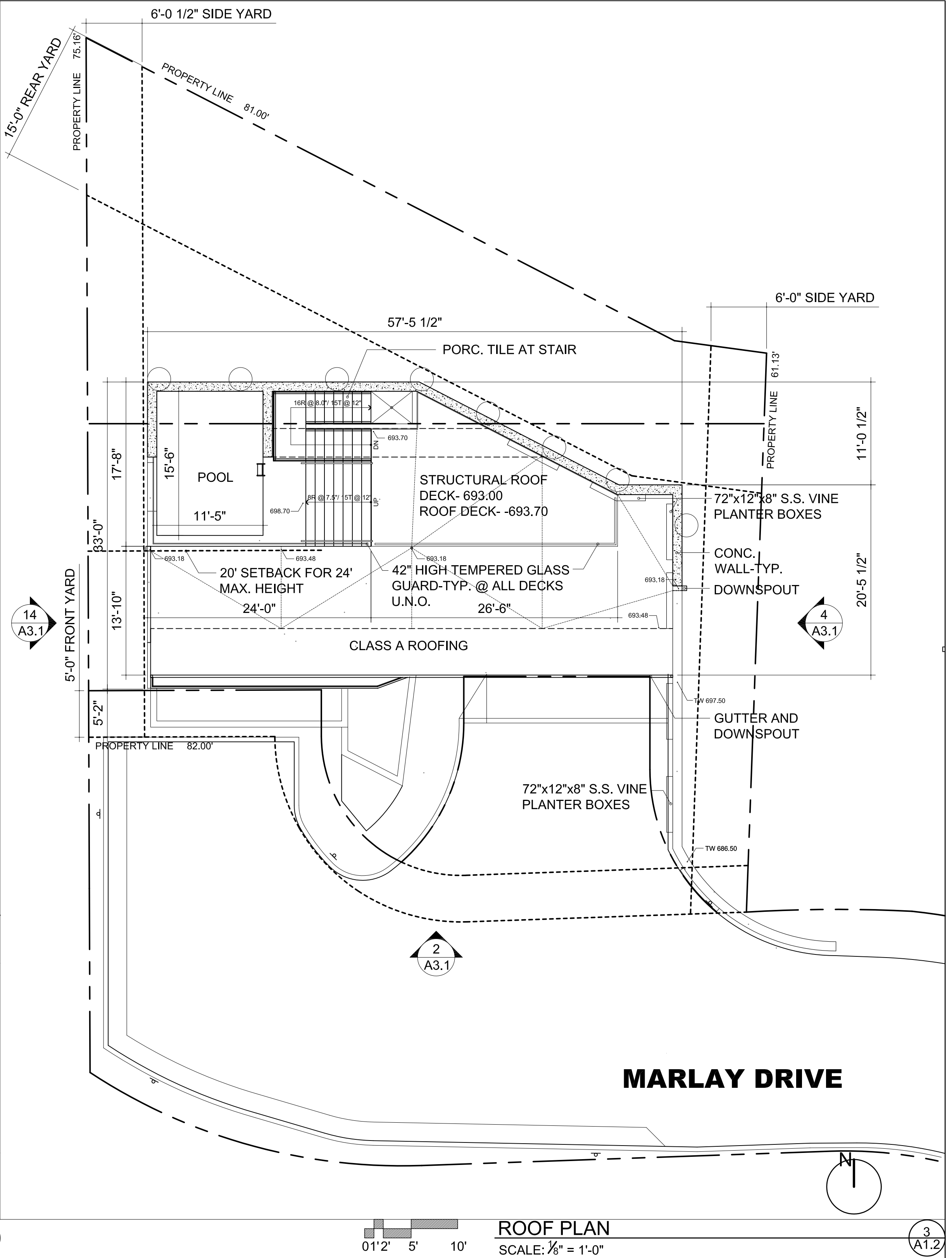
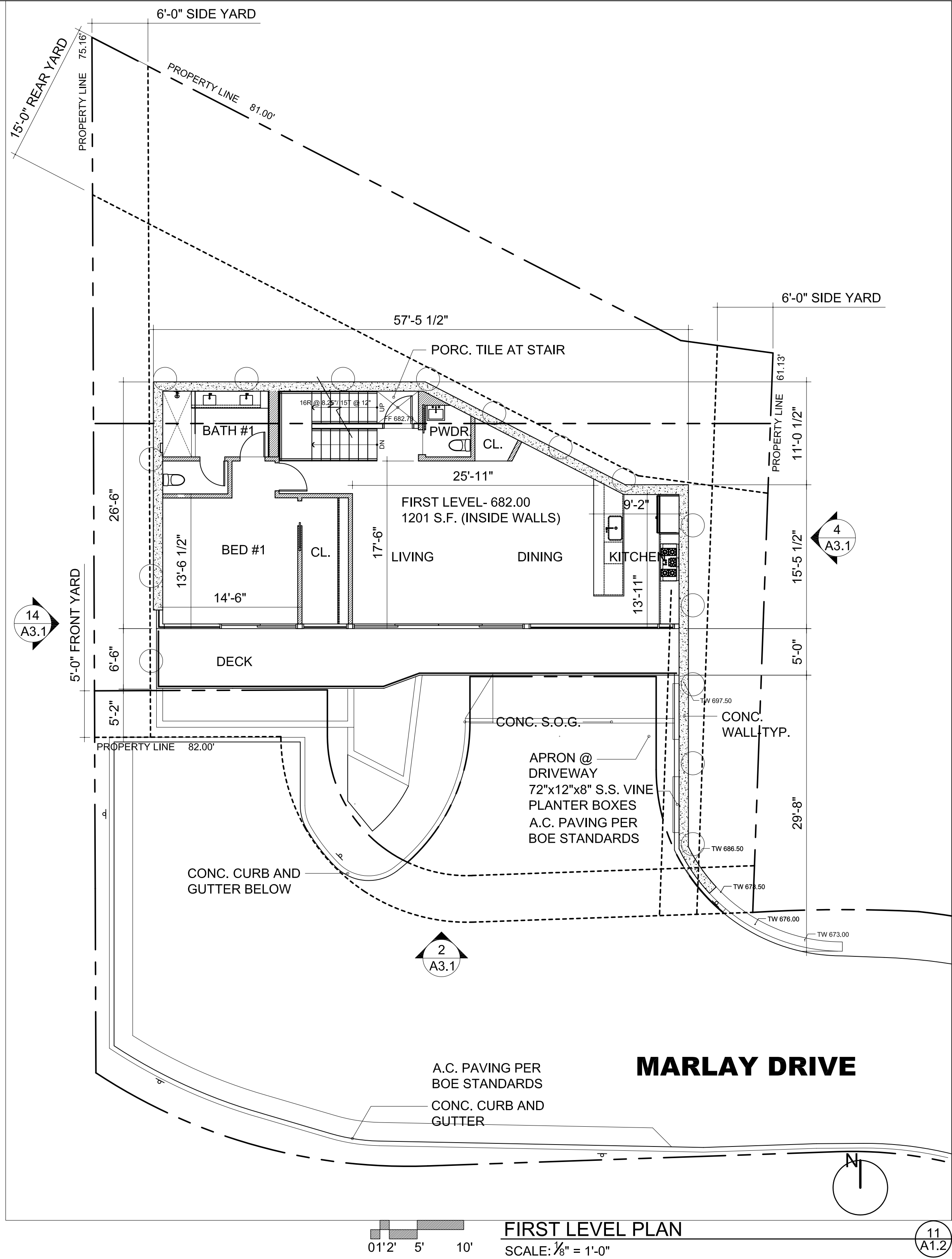
Total frontage used in the calculation: 376.79 ft

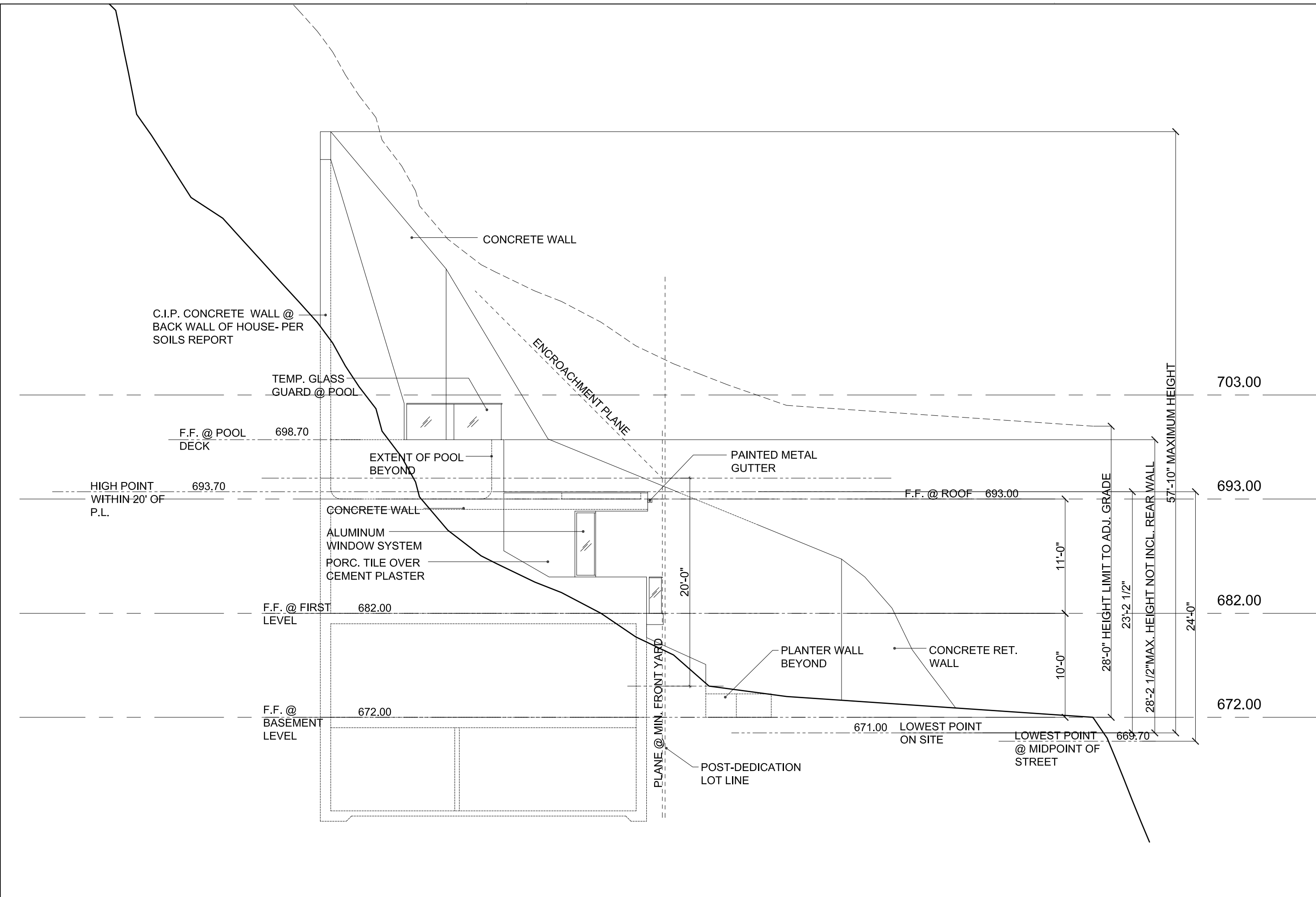
Lots Used

Lot	Frontage (ft)	Setback (ft)
6	79.60	1.00
15	84.41	7.50
17	52.56	6.50
34	90.22	0.00
35	70.00	2.00

View Calculation Details

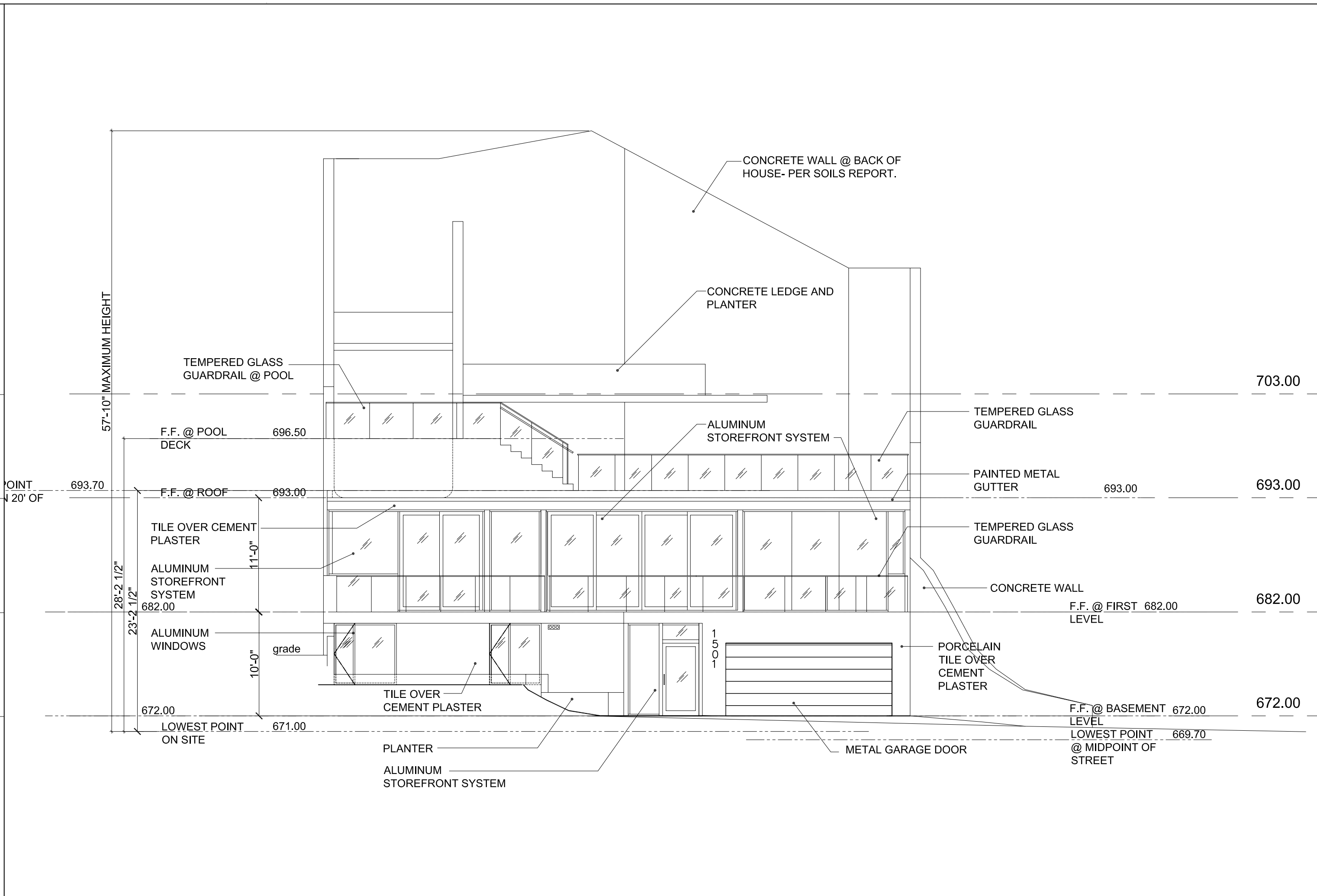






WEST ELEVATION
SCALE: 1/8" = 1'-0"

14
A3.1



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

2
A3.1



EAST ELEVATION
SCALE: 1/8" = 1'-0"

4
A3.1



SOUTHWEST AERIAL VIEW
SCALE: NTS

14
A3.2



VIEW FROM SOUTHWEST
SCALE: NTS

2
A3.2



VIEW FROM SOUTHEAST
SCALE: NTS

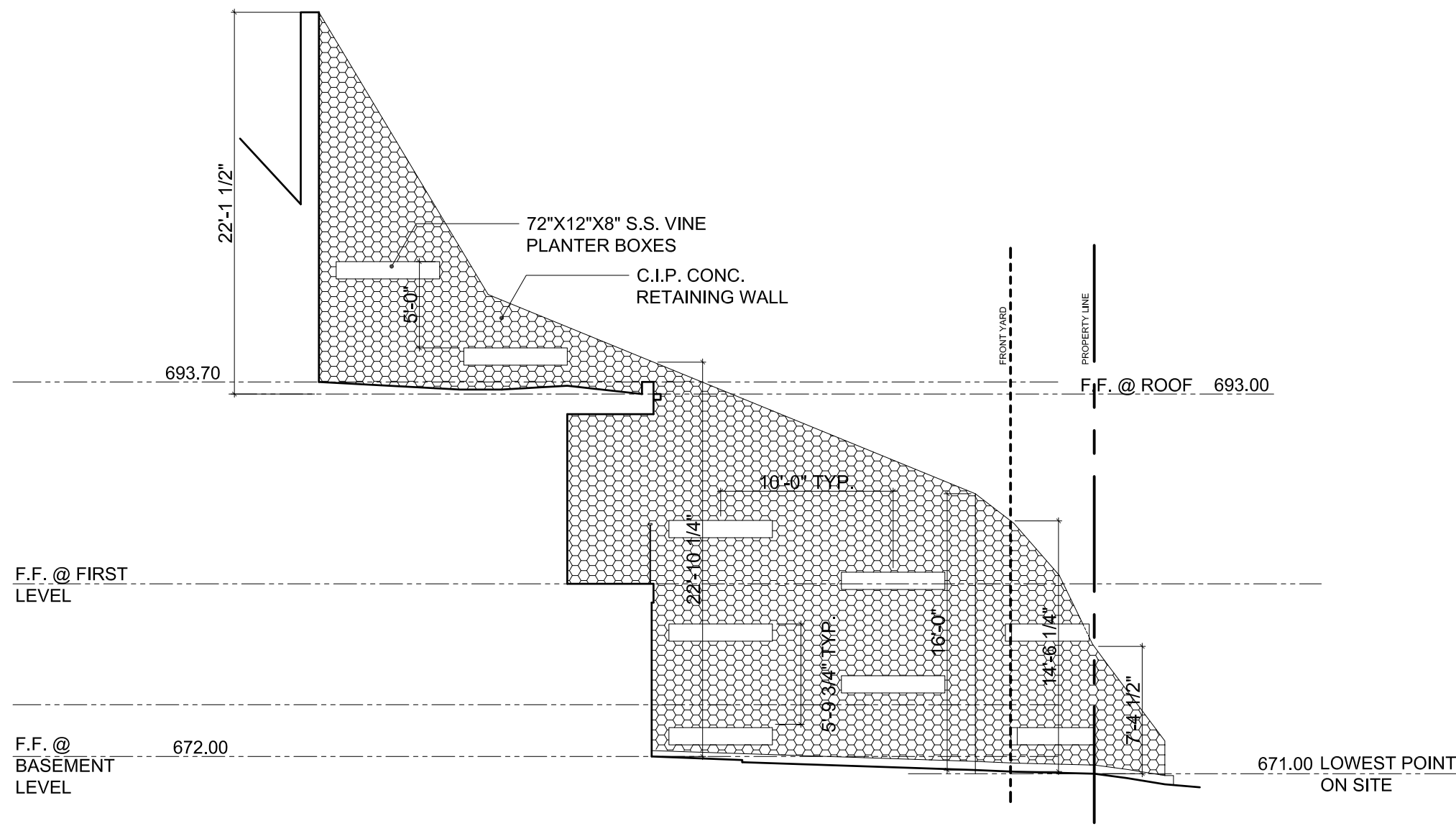
4
A3.2

RENDERINGS
29 MARCH, 2019

PAUL COLEMAN, ARCHITECT 1081 NORTH GRANADA DRIVE, ORANGE CALIFORNIA 92869 213 700 2297 PAUL@LUCOL.COM

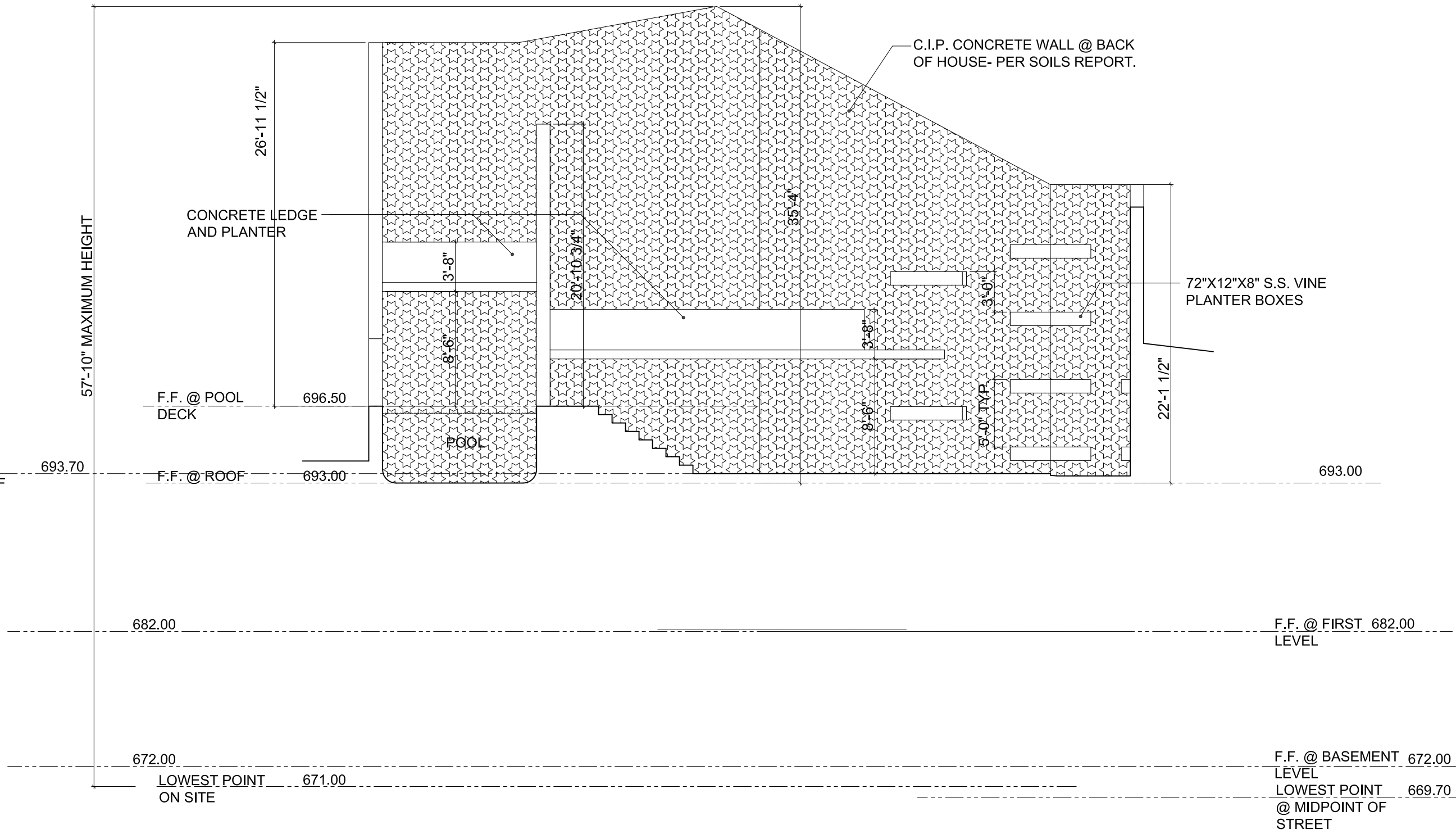
Hillside Residence
1501 Marlay Drive
Los Angeles, California 90069

A3.2



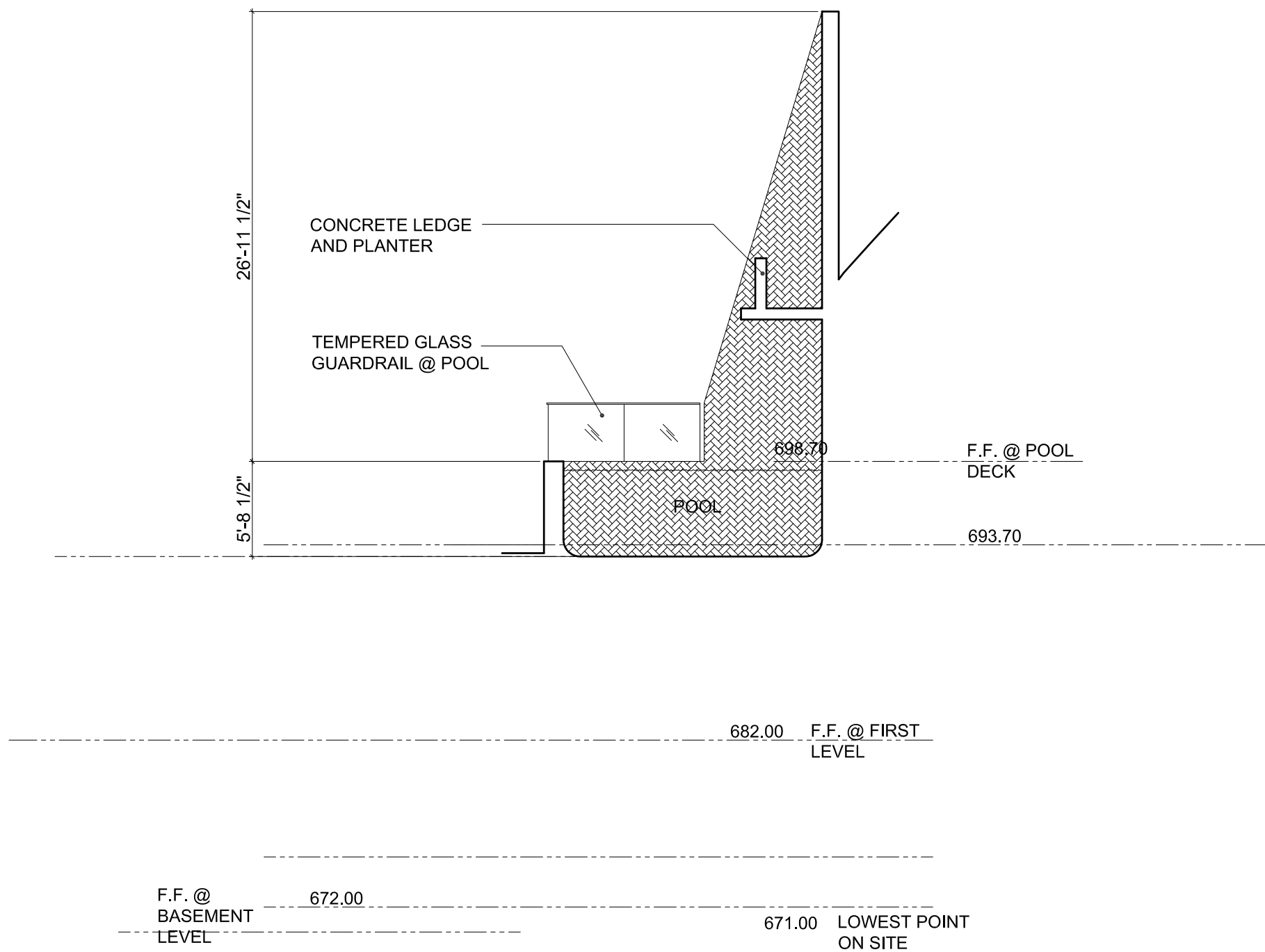
EAST RETAINING WALL ELEVATION (A)
SCALE: 1/8" = 1'-0"

14
A3.3



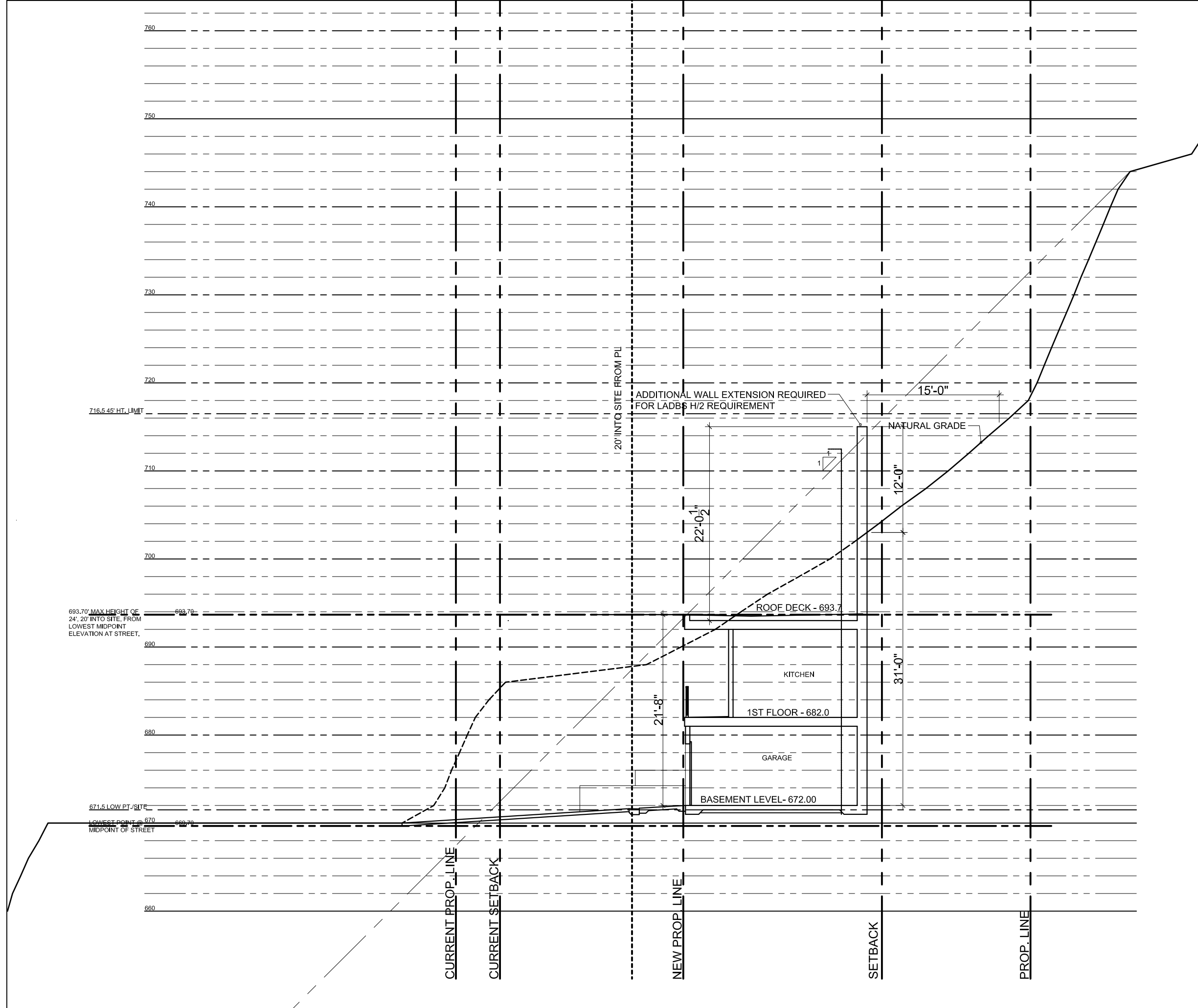
NORTH RETAINING WALL ELEVATION (B)
SCALE: 1/8" = 1'-0"

2
A3.3



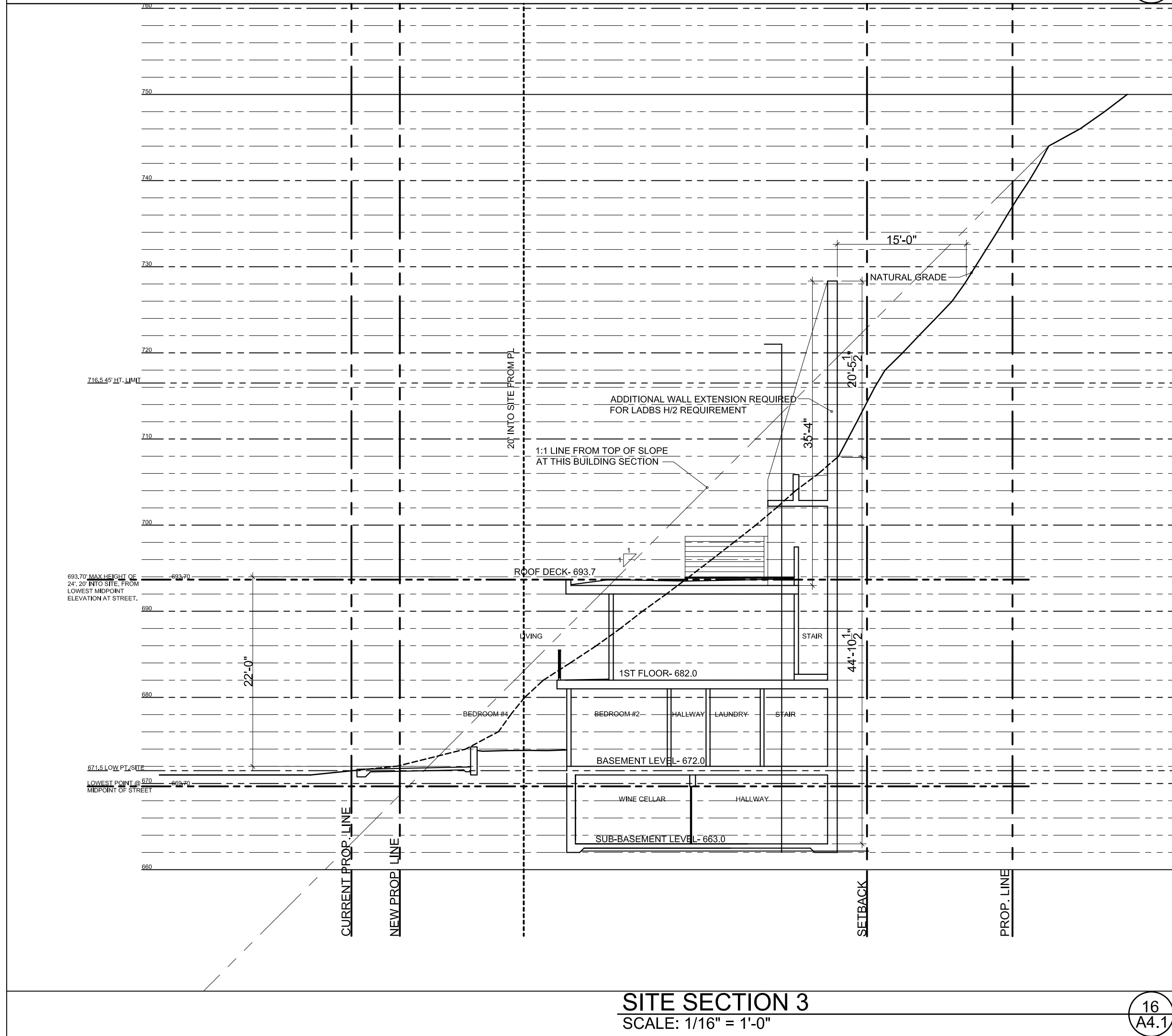
WEST RETAINING WALL ELEVATION (C)
SCALE: 1/8" = 1'-0"

4
A3.3



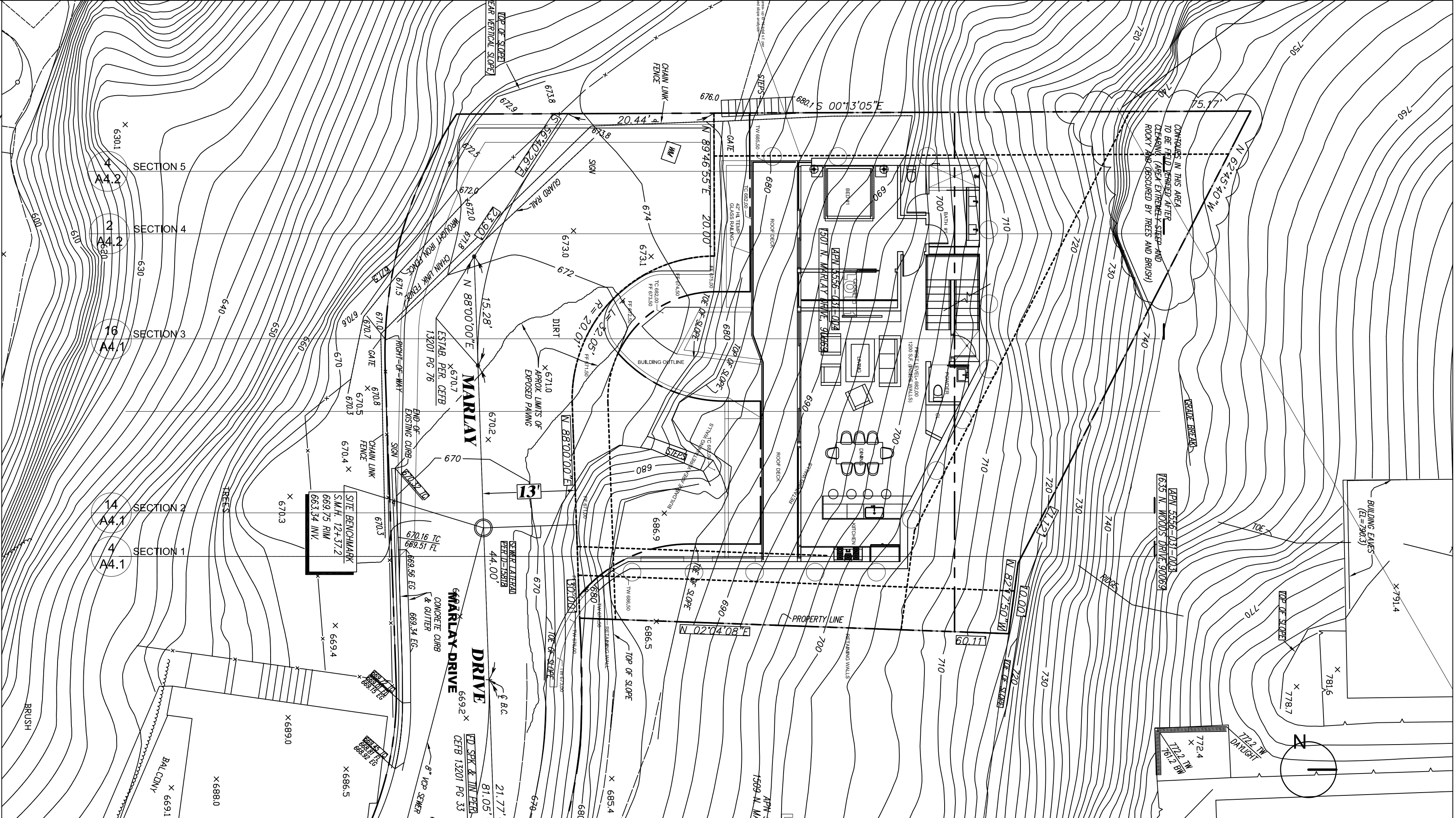
SITE SECTION 2
SCALE: 1/16" = 1'-0"

14
A4.1



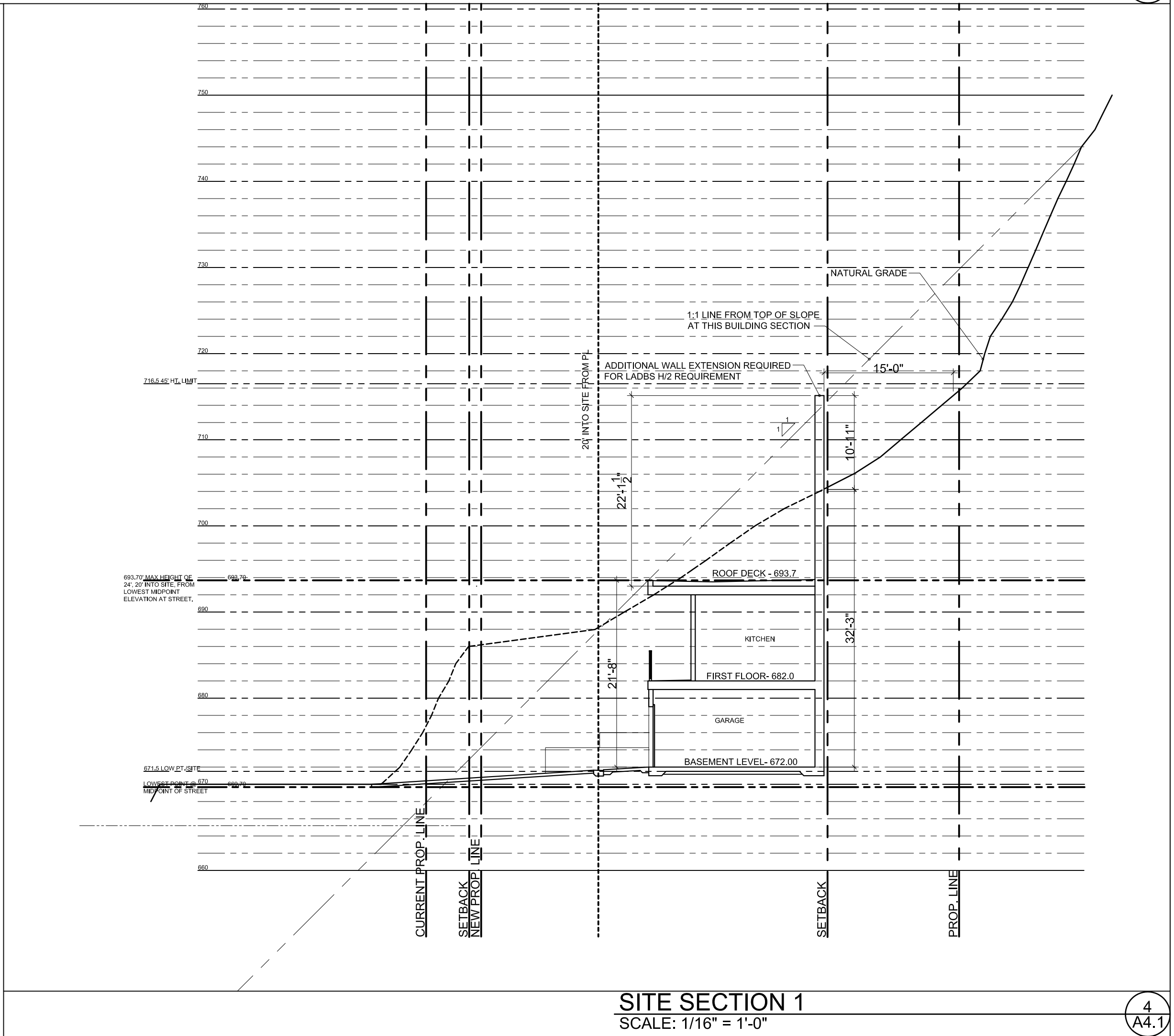
SITE SECTION 3
SCALE: 1/16" = 1'-0"

16
A4.1



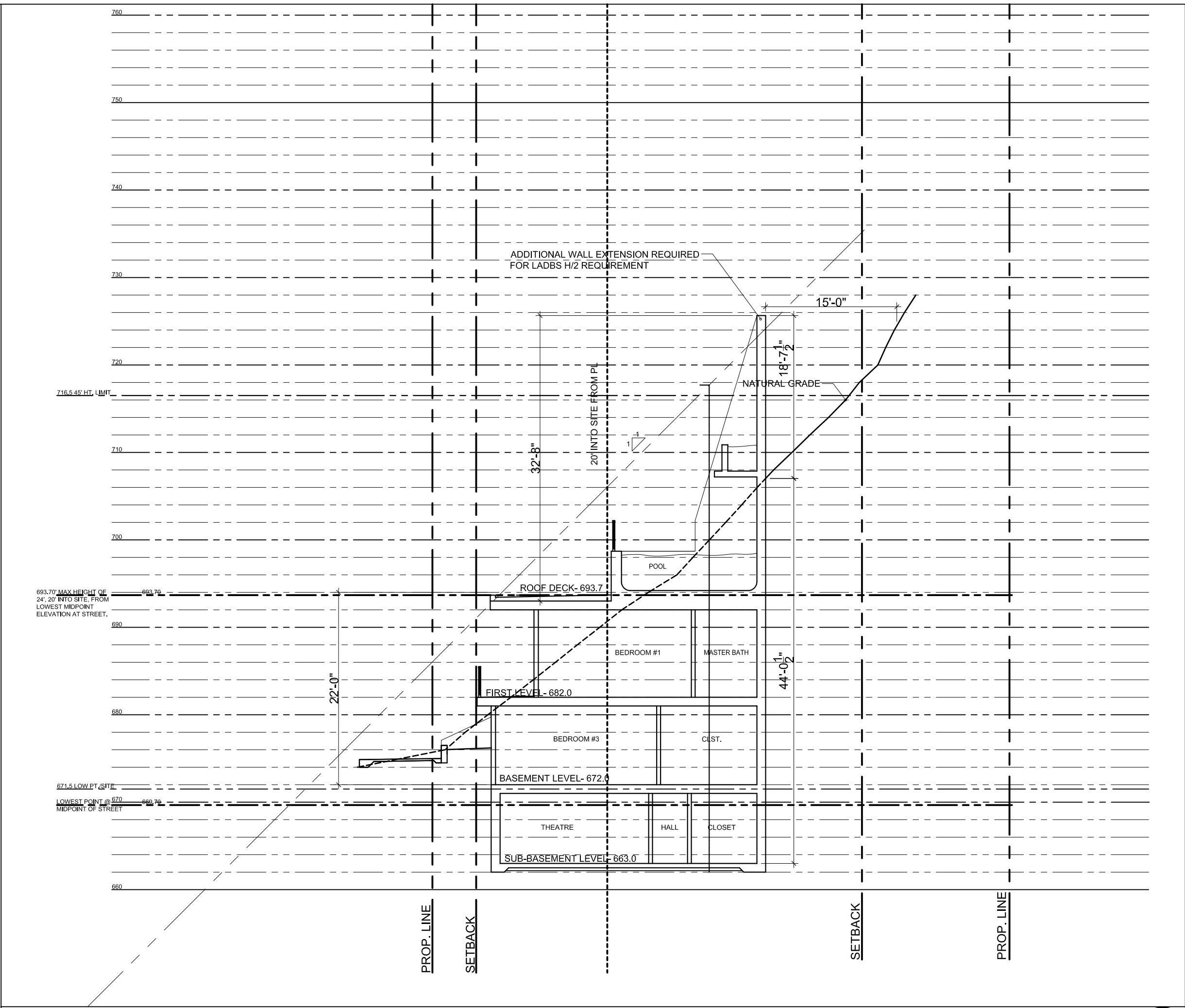
SITE PLAN
SCALE: 3/32" = 1'-0"

1
A4.1



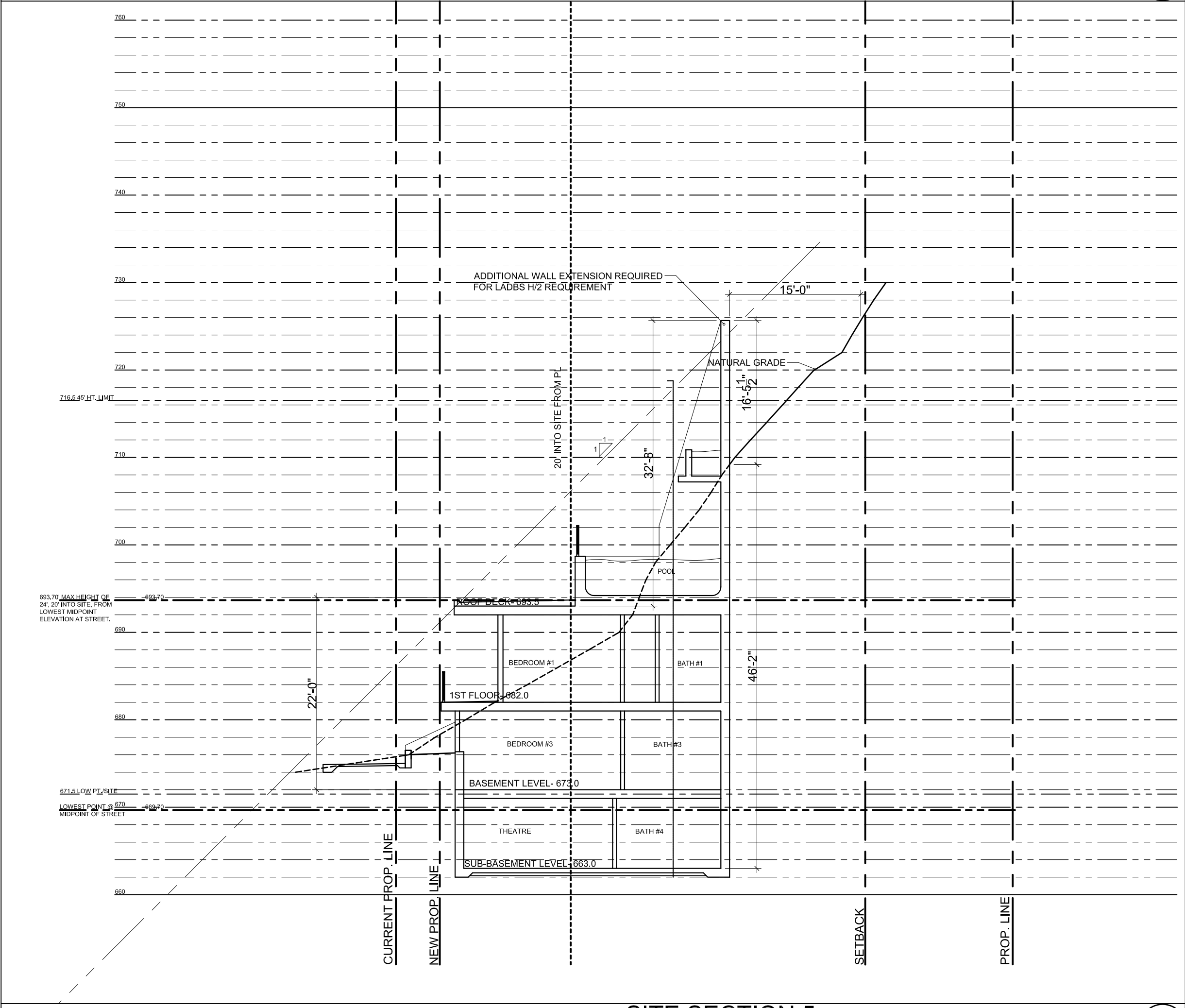
SITE SECTION 1
SCALE: 1/16" = 1'-0"

4
A4.1



SITE SECTION 4
SCALE: 1/16" = 1'-0"


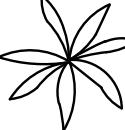


2
A4.2



SITE SECTION 5
SCALE: 1/16" = 1'-0"

4
A4.2

PLANTING LEGEND

Symbol	Botanical Name/Common Name	Quantity	Size	WUCOLS	Remarks
TREES					
	Cupressus sempervirens / Italian cypress	8	24" box	M	
	Syagrus romanzoffiana / Queen palm	1	24" box	M	
SHRUBS					
	Pennisetum 'Fairy Tails' / Fountain grass @ 24"	37	5g	L	
VINE					
	Ficus pumila / Creeping fig	19	5g	L	

TOTAL LANDSCAPE AREA: 309 s.f.

PROJECT DATA

LEGAL DESCRIPTION:	LOT 1, TRACT TR 12204 MAP SHEET PAGE 593 - GRID A4 148-5A 175 314
PIN NUMBER:	5556031004
APN:	MB 230-40/41
DISTRICT MAP:	IRREGULAR
LOT TYPE:	5,025.8 SQUARE FEET
LOT SIZE:	CD 4- TOM LABONGE
COUNCIL DISTRICT:	1942.00
CENSUS TRACT:	
ZONE:	R1-1
ZONING INFORMATION:	HILLSIDE AREA
HILLSIDE GRADING AREA:	YES
STANDARD HILLSIDE LIMITED ZONE:	BASELINE HILLSIDE ORDINANCE
FRONT YARD:	5 FEET MAX. OR PREVAILING
REAR YARD:	15 FEET
SIDE YARDS:	10% LOT WIDTH- 5' MAX. +1 TO 3' MIN.
OFF STREET PARKING:	2 COVERED
OCCUPANCY GROUP:	R-3
NUMBER OF STORIES:	2
HEIGHT LIMIT:	28' 24" WITHIN 20 FEET OF PROP. LINE
BUILDING HEIGHT:	35'-3" TO TOP OF ROOF AT STAIR 21'-6" TO TOP OF PARAPET WITHIN 20' OF FRONT PROP. LINE
ALLOWED RESIDENTIAL FLOOR AREA (SLOPE ANALYSIS):	1,218 S.F.
ALLOWED ARE WITH INCREASE FOR TIER 1 GREEN (20%):	1,461 S.F.
PROPOSED RESIDENTIAL FLOOR AREA:	1,458 S.F.* FIRST LEVEL NOT COUNTED (BASEMENT) ROOF LEVEL NOT COUNTED (STAIR COUNTED BELOW ON SECOND LEVEL)
ALLOWABLE RFA AREA: 1,461 AREA (INSIDE WALLS) 0 S.F. (STAIR COUNTED ON LEVEL BELOW)	
TOTAL LANDSCAPE AREA:	360

CONSULTANTS

SURVEY/SLOPE MAP	VOORHEIS & VOORHEIS 17049 SUNBURST STREET NORTHridge, CALIFORNIA 91325 818.993.5611
LANDSCAPE ARCHITECT	COURTLAND STUDIO, LLC 505 E. COLORADO BLVD, MEZZ. C PASADENA, CA 91101 T: 818-788-9382 F: 818-788-3217

POOL COVER

MANUAL FASTENER POOL SAFETY COVER SHALL BE CUSTOM DESIGNED TO FIT AND IS AVAILABLE FROM:

POOL COVERS, INC.
1-844-360-4100

GENERAL PLANTING NOTES

1. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
2. THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION. PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITY DESIGNATED.
3. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL CONTAINER GROWN TREES, SHRUBS AND VINES, INCLUDING SEEDED AND SODDED TURF, HYDROMULCHES AND FLATTED GROUNDCOVERS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE AND PAY FOR: PLANTING OF ALL PLANT MATERIALS; THE SPECIFIED GUARANTEE OF ALL PLANT MATERIALS; THE STAKING AND GUYING OF TREES AND THE CONTINUOUS PROTECTION OF ALL PLANT MATERIALS UPON THEIR ARRIVAL AT THE SITE.
4. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
5. ALL BOXED TREES IN PAVING SHALL BE SELECTED AND SPOTTED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE IN CONJUNCTION WITH PAVING CONTRACTOR AND GENERAL CONTRACTOR. GENERAL CONTRACTOR TO ASSUME ALL LIABILITY FOR ACCURATE PLACEMENT OF TREES.
6. ALL VINE RUNNERS SHALL BE INSTALLED WITH THE NURSERY STAKES REMOVED AND VINE RUNNERS SHALL BE ESPALIERS TO THE ADJACENT WALL OR FENCE.
7. ALL SOIL PREPARATION SHALL BE INSTALLED AS PER THE SOIL AGRONOMY REPORT TO BE PROVIDED AND PAID FOR BY THE SUBCONTRACTOR. THE REPORT SHALL BE IMMEDIATELY FORWARDED TO THE LANDSCAPE ARCHITECT UPON COMPLETION.
8. THE SOIL AMENDMENTS SPECIFIED ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE FOR A SOILS AGRONOMY REPORT FROM WALLACE SOILS LABORATORY (310) 615-0116 AND/OR ANY ADDITIONAL SPECIFICATION PROVIDED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIALS.
9. FOR BIDDING AREA TO BE LANDSCAPED, THE FOLLOWING AMENDMENTS SHALL BE USED UNTIL CONTRACTOR IS PROVIDED WITH SOILS AGRONOMY REPORT. AMENDMENTS SHALL BE UNIFORMLY BROADCAST AND THOROUGHLY INCORPORATED BY MEANS OF A ROTOTILLER OR EQUAL.

AMOUNT PER 1,000 SQUARE FEET
4 CU. YDS. NITROGEN STABILIZED ORGANIC AMENDMENT DERIVED FROM REDWOOD SAWDUST, FIR SAWDUST OR CEDAR SAWDUST.
15 LBS. SOIL SULFUR
15 LBS. 12-12-12 FERTILIZER
10. INSTALL 2" (TWO INCHES) SHREDDED BARK MULCH OVER ALL SHRUB AREAS. - CONTRACTOR TO SUBMIT 1/2 CU. FT BAG AS SAMPLE FOR APPROVAL PRIOR TO INSTALLATION.
11. THE PLANTING PITS FOR BOXED TREES SHALL BE EXCAVATED TWICE THE DIAMETER OF THE ROOTBALL WITH A MAXIMUM OF THE HEIGHT OF THE ROOTBALL TO THE BOTTOM OF THE PLANTING PIT.

DO NOT OVER EXCAVATE!!!

THE BACKFILL MIX FOR USE AROUND THE ROOTBALL OF ALL TREES AND SHRUBS SHALL CONSIST OF THE FOLLOWING FORMULA:

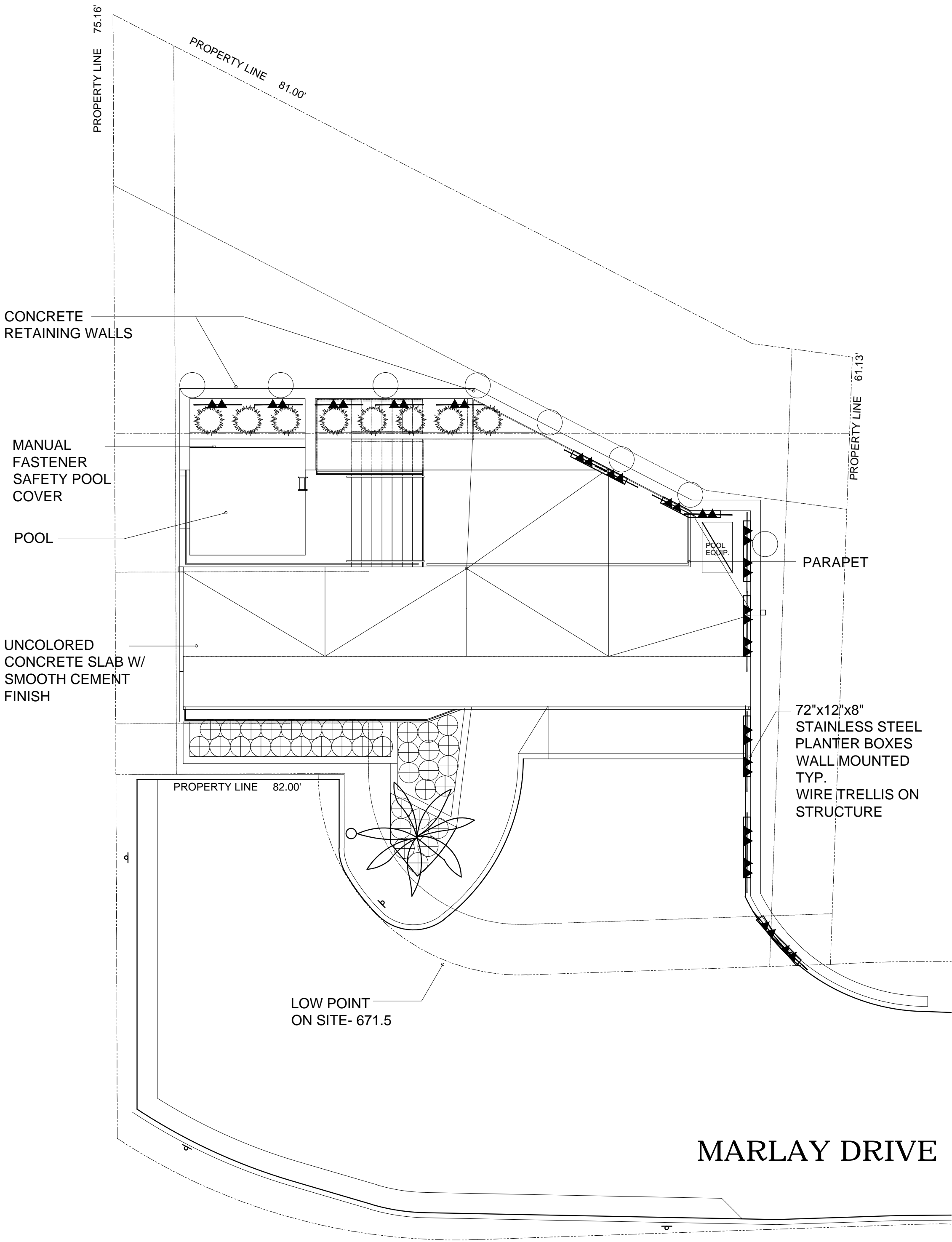
6 PARTS ON-SITE SOIL
4 PARTS BY VOLUME ORGANIC AMENDMENT PER ABOVE SOIL PREPARATION
1 LB./CU. YD. OF MIX 12-12-12 COMMERCIAL FERTILIZER
2 LBS./CU. YD. OF MIX IRON SULFATE
10 LBS./CU. YD. OF MIX AGRICULTURAL GYPSUM
12. THIRTY (30) DAYS AFTER INSTALLATION ALL LANDSCAPE SHALL BE FERTILIZED WITH BEST FERTILIZER COMPANY 16-6-8 OR APPROVED EQUAL, APPLIED AT THE RATE OF SIX POUNDS (6 LBS.) PER 1,000 SQUARE FEET OR PER SOIL AGRONOMY REPORT. FERTILIZER APPLICATION SHALL BE CONTINUED THEREAFTER AT MONTHLY INTERVALS.
13. FOR ALL STAKED TREES, SEE DETAIL 1, SHEET L1.1.
14. FOR ALL SHRUBS, SEE DETAIL 2, SHEET L1.1.
15. FERTILIZER TABLETS SHALL BE AGRIFORM, 21 GRAM TABLETS (20-10-5) IN QUANTITIES AS FOLLOWS:

1 GALLON SHRUBS 1
5 GALLON SHRUBS 3
15 GALLON SHRUBS 5
BOXED TREES 1 PER 4" OF BOX SIZE

PLACE TABLETS AT HALF THE DEPTH OF THE ROOTBALL.

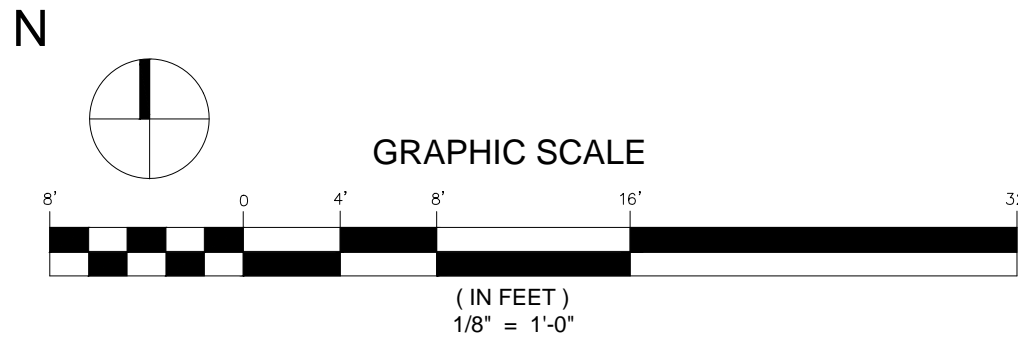
16. ALL EXISTING LANDSCAPE AREAS DISTURBED DURING THE CONSTRUCTION PROCESS WILL BE RECONDITIONED TO THEIR ORIGINAL STATE AT NO ADDITIONAL COST TO THE OWNER.

17. INSTALL 24" DEEP ROOT BARRIER ON ALL TREES WITHIN 4 FEET OF PAVING.



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



LANDSCAPE PLAN
18 FEBRUARY 2021

PAUL COLEMAN, ARCHITECT

2912 PYRENEES DRIVE, ALHAMBRA CALIFORNIA 91803

213.700.2297

PAUL@LUCCOL.COM

P.C. SUBMITTAL 23 June, 2016
ZAD SUBMITTAL 24 February, 2017
PLAN CHECK RESUBMITTAL 2 October, 2017

PLAN CHECK SUBMITTAL
ZAD SUBMITTAL
PLAN CHECK RESUBMITTAL

Hillside Residence
1501 Marlay Drive
Los Angeles, California 90069



OWNER MANUAL/LANDSCAPE CERTIFICATION FORM GRN 12
2011 Los Angeles Green Building Code
(This form is required at final inspection)

OWNER'S MANUAL

- ☐ I hereby certify that an owner's manual, compact disc, or web-based reference complying with the Los Angeles Green Building Code has been provided to the owner and will be placed and stored within the building; **OR**
- ☐ No new equipment or fixture was installed in the construction of this project.

Name: _____ Relationship to project: _____
Company Name (if applicable): _____ State License No. (if applicable): _____
Signature: _____ Date: _____

LANDSCAPING

Section A: Landscape Designer

- ☒ I certify that I am qualified by the State of California to perform landscape design services; the landscape design and water use calculations for this project were prepared by me or under my supervision, the landscape design and water use calculations comply with the requirements of the City of Los Angeles Irrigation Guidelines, and the Landscape Documentation Package is complete; **OR**
- ☐ Interior T.I., no landscape work performed (**do not need to complete sections B or C below**;) **OR**
- ☐ This project is not subject to the City of Los Angeles Irrigation Guidelines.

Name: PAUL LEWIS Relationship to Project: CONSULTANT
Company Name (if applicable): COURTLAND STUDIO, LLC State License # (if applicable): #3620
Signature: _____ Date: OCTOBER 2, 2017

Section B: Landscape Installer

- ☐ I certify that I am qualified by the State of California to provide landscape design services; the landscape project for this project was installed by me or under my supervision; the landscaping for the identified property has been installed in substantial conformance with the approved Landscape Documentation Package and complies with the requirements of the City of Los Angeles Irrigation Guidelines; the Certificate of Completion has been prepared in compliance with the requirements of the City of Los Angeles Irrigation Guidelines and shall be implemented.

Name: _____ Relation to Project: _____
Company Name (if applicable): _____ State License # (if applicable): _____
Signature: _____ Date: _____

Section C: Owner/Representative

- ☐ I certify that I am the property owner or an authorized representative and have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is my responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule.

Signature: _____ Date: _____

Revised 06-30-2011 Page 1 of 2 www.ladbs.org



OWNER MANUAL/LANDSCAPE CERTIFICATION FORM GRN 12
2011 Los Angeles Green Building Code
(This form is required at final inspection)

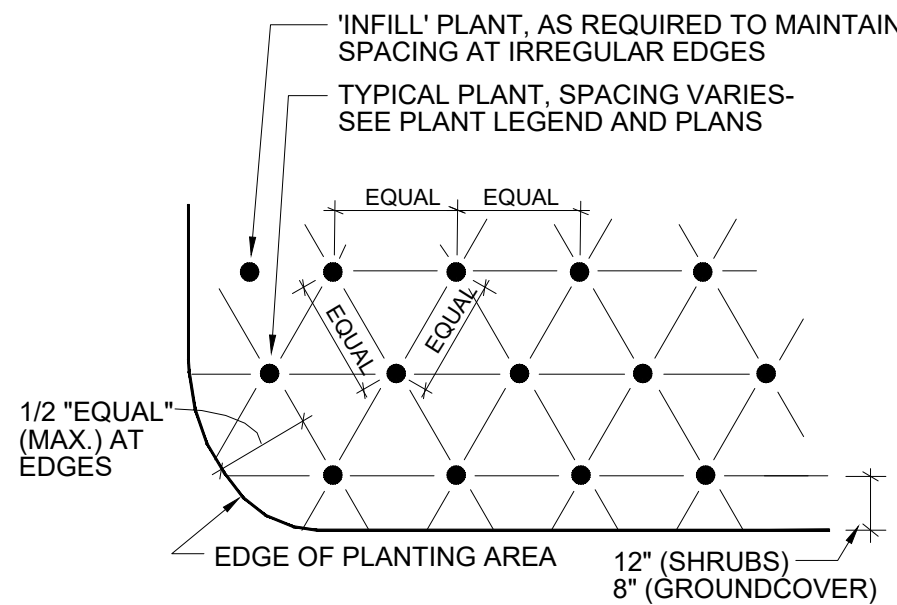
LANDSCAPE IRRIGATORS

- ☐ I hereby certify that the automatic irrigators are installed in such a way that they do not spray on the building

Name: _____ Relation to Project: _____
Company Name (if applicable): _____ State License # (if applicable): _____
Signature: _____ Date: _____

Qualified irrigation service provider: The following individuals are authorized to provide services required by the Irrigation Guidelines in the State of California: Landscape Architects, Landscape Contractors, Landscape Designers and Irrigation Consultants. Personal property owners may design and sign plans for work on any property they own. (Sections 5500.1, 5615, 5641, 5641.1, 5641.2, 5641.3, 5641.4, 5641.5, 5641.6, 6701, 7027.3 of the Business and Professions Code, Section 832.27 of Title 16 of the California Code of Regulations, and Section 6721 of the Food and Agricultural Code.)

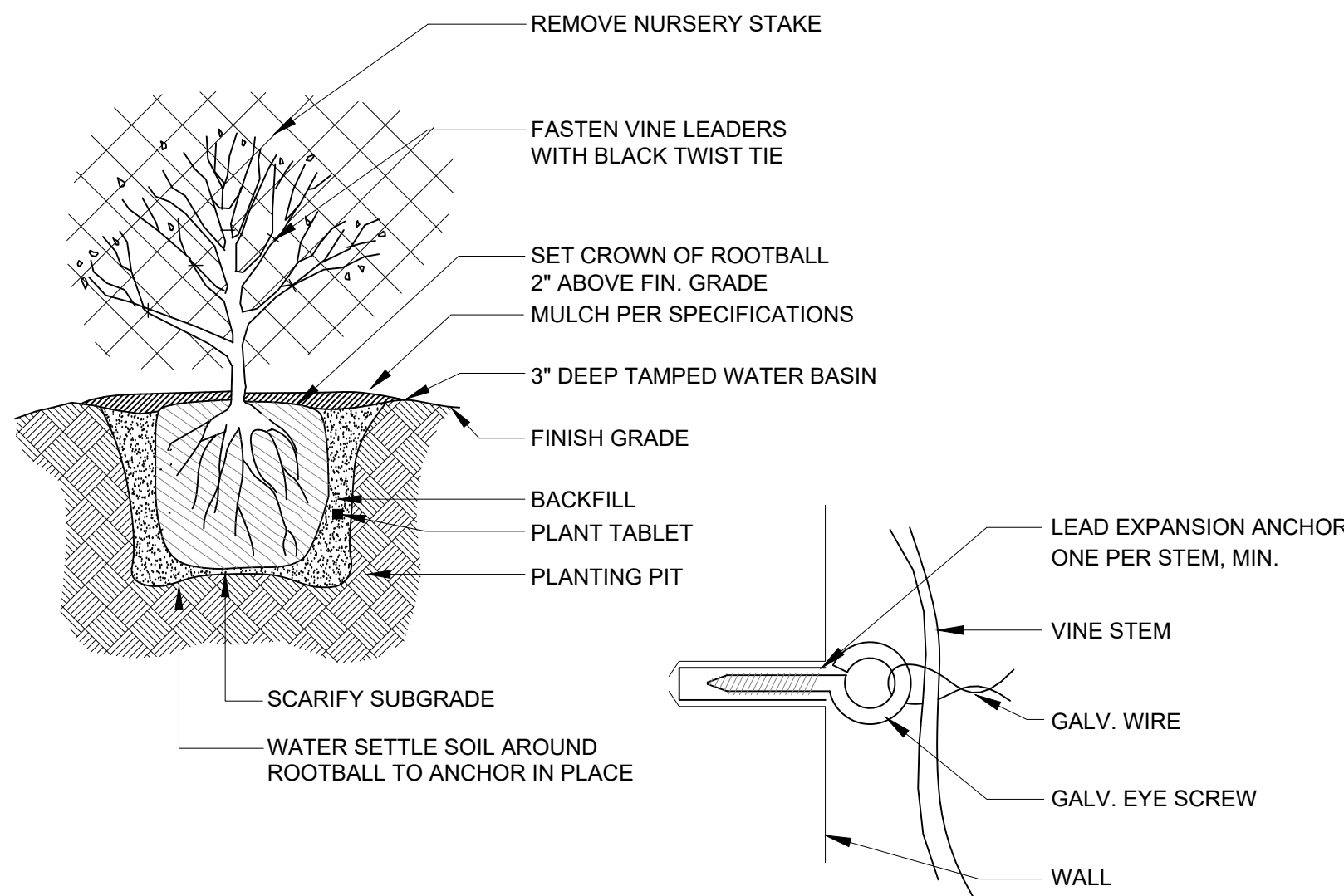
Revised 06-30-2011 Page 2 of 2 www.ladbs.org



NOTE:
ALL GROUNDCOVER SHALL BE PLANTED AT EQUAL SPACING
SEE SPECIFICATIONS FOR FURTHER INFORMATION

SHRUB AND GROUNDCOVER SPACING

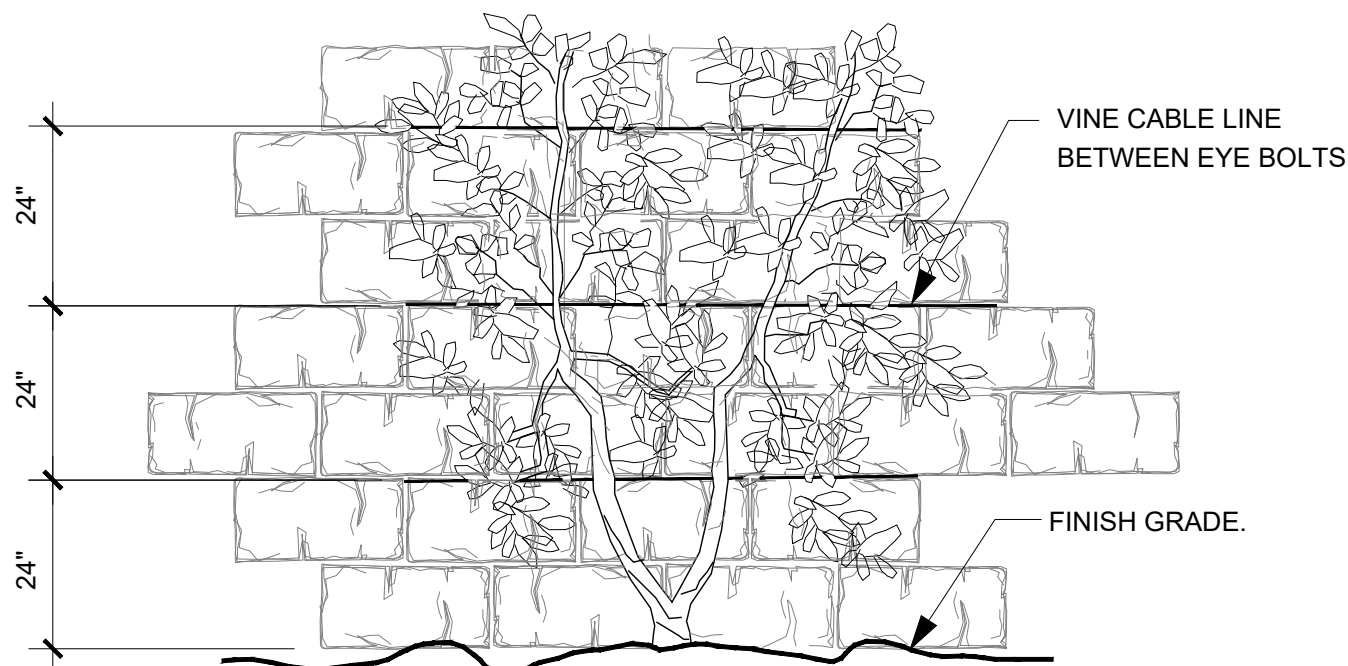
SCALE: N.T.S.



SEE SPECIFICATIONS FOR FURTHER INFORMATION

VINE ON WALL

SCALE: N.T.S.

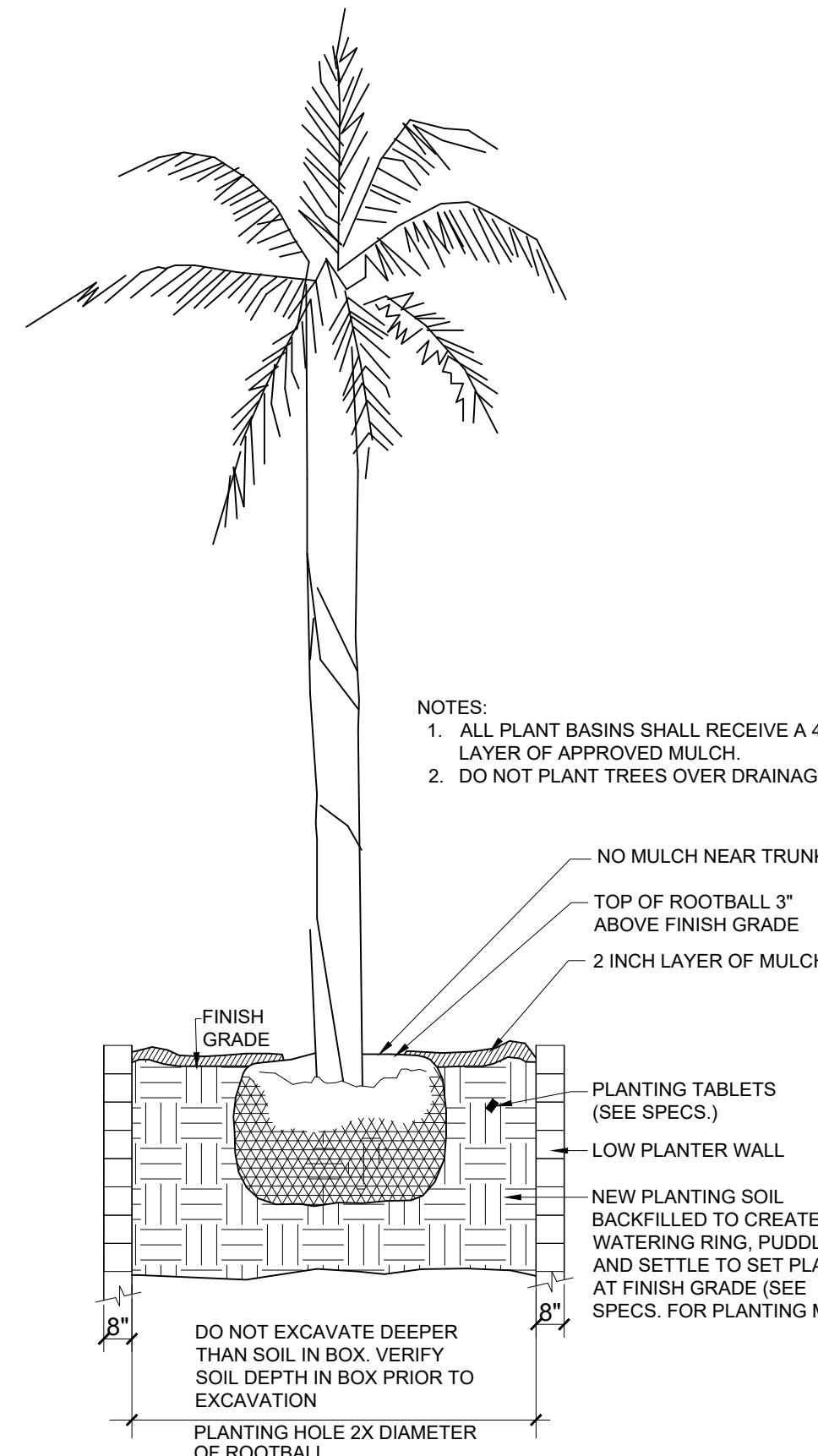


NOTES:

- A. SET VINE AS CLOSE TO SURFACE OF PIT AS POSSIBLE.
- B. ALL VINES SHALL BE TIED TO SUPPORTING WALLS AND FENCING. CONTRACTOR SHALL SECURE VINES TO WALLS AND FENCES WITH PLASTIC NURSERY TAPE.
- C. ESPALIER VINE ONTO WALL/FENCE, TYPICAL.
- D. VINE CABLE SHALL BE STRUNG THROUGH EYE BOLTS AND CRIPED ONTO ITSELF.

VINE ON WALL - ELEVATION

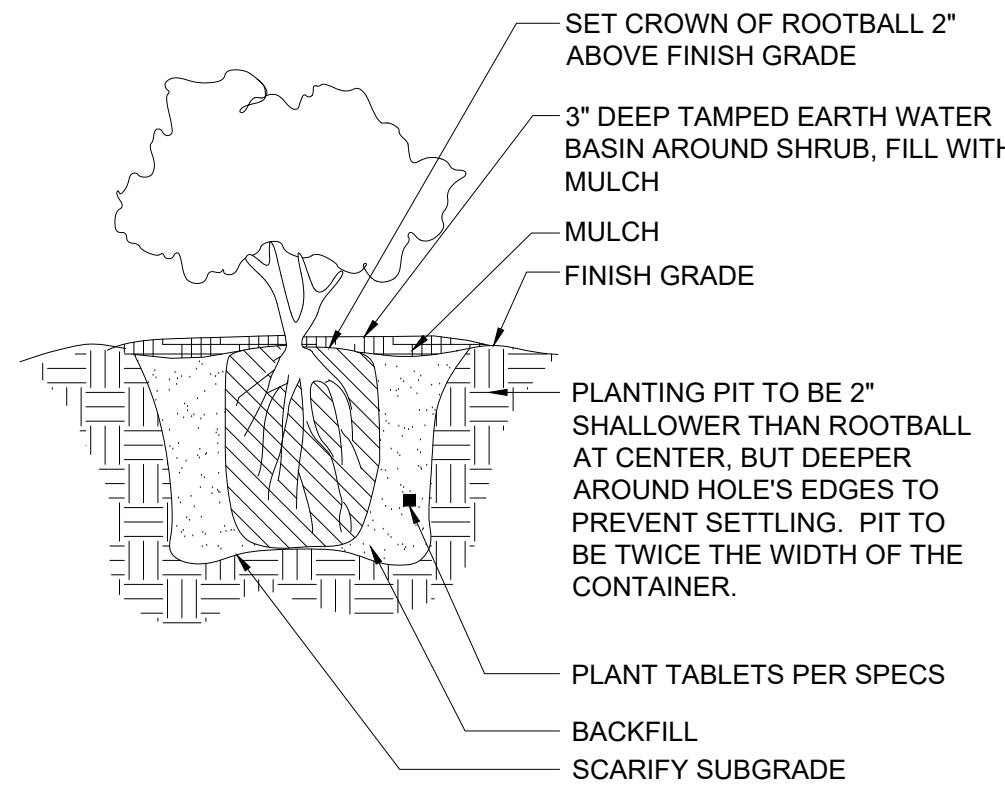
SCALE: N.T.S.



NOTES:
1. ALL PLANT BASINS SHALL RECEIVE A 4" LAYER OF APPROVED MULCH.
2. DO NOT PLANT TREES OVER DRAINAGE

CMU PLANTER - PALMS

SCALE: N.T.S.



SHRUB PLANTING

SCALE: N.T.S.



LANDSCAPE FORMS

12 JULY 2017

PAUL COLEMAN, ARCHITECT

Hillside Residence

1501 Marlay Drive

Los Angeles, California 90069

2912 PYRENEES DRIVE, ALHAMBRA CALIFORNIA 91803

213 700 2297

PAUL@LUCCOL.COM

P.C. SUBMITTAL 23 June 2016

ZAD SUBMITTAL 24 February 2017

PLAN CHECK RESUBMITTAL 2 October 2017

PLAN CHECK SUBMITTAL

PLAN CHECK RESUBMITTAL

PAUL@LUCCOL.COM

213 700 2297

2912 PYRENEES DRIVE, ALHAMBRA CALIFORNIA 91803

Hillside Residence

1501 Marlay Drive

Los Angeles, California 90069

A DRIP REMOTE CONTROL VALVE		B NOT USED		C BALL VALVE		D WALL MOUNT CONTROLLER	
E REDUCED PRESSURE BACKFLOW		F BASKET STRAINER		G FLUSH & AIR/VACUUM RELIEF VALVE		H DRIP TUBING INSTALLATION	
I PIPING & WIRING							

PAUL COLEMAN, ARCHITECT 2912 PYRENEES DRIVE, ALHAMBRA CALIFORNIA 91803 213 700 2297

Hillside Residence
1501 Marlay Drive
Los Angeles, California 90069

IRRIGATION DETAILS
12 JULY 2017

PAUL@LUCCOL.COM

PLAN CHECK SUBMITTAL
24 February, 2017
PLAN CHECK RESUBMITTAL
2 October, 2017

LEGAL DESCRIPTION

LOT 1, TRACT NO. 12204, M.B. 230
PAGES 40-41

BENCHMARK

EASTERLY INVERT OF SANITARY SEWER
MANHOLE @ STATION 12+37.2 AS SHOWN
ON CITY OF LOS ANGELES SEWER PLAN
AND PROFILE NO. D-15818

ELEV. = 663.34 FLOWLINE INVERT

UNDERGROUND UTILITIES

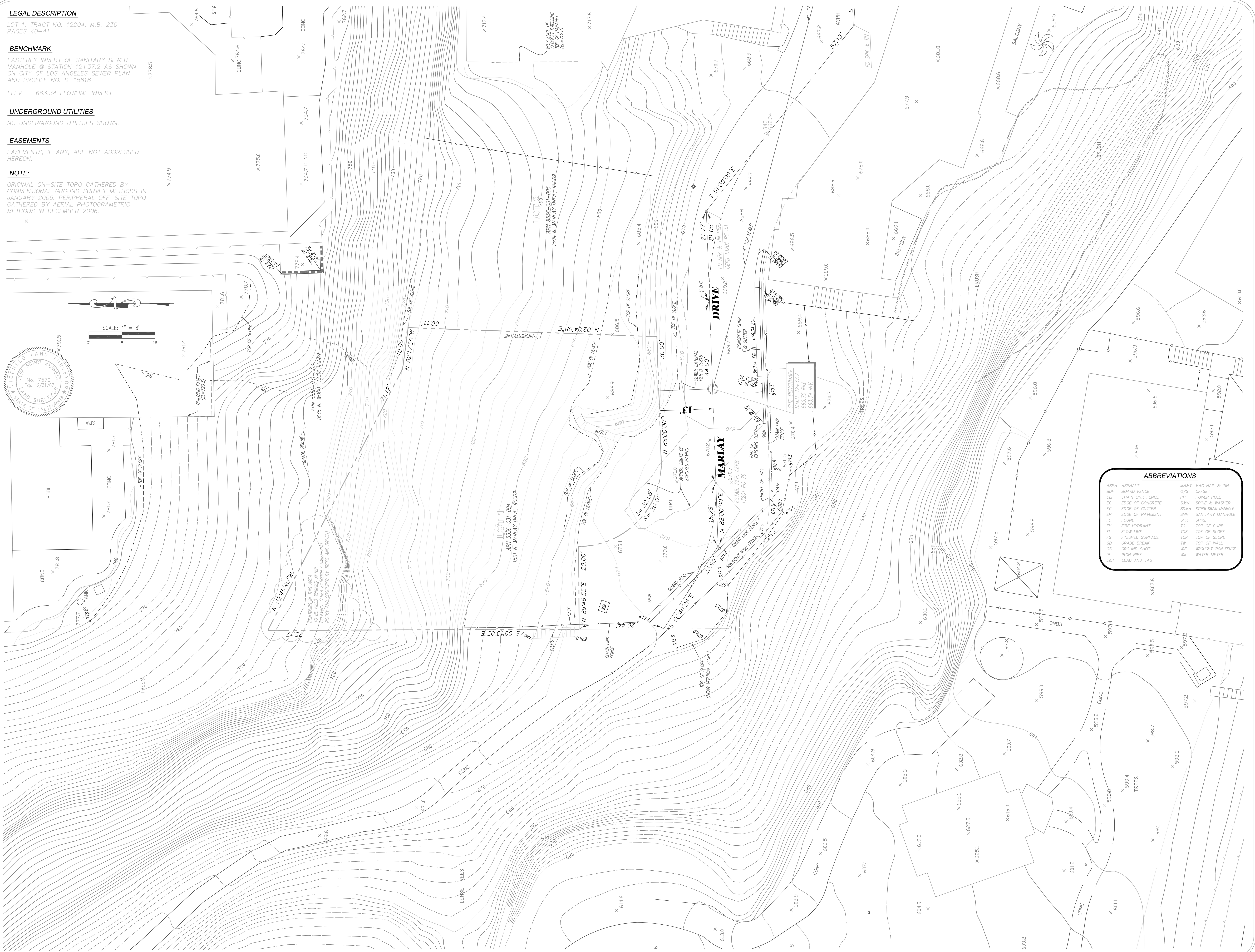
NO UNDERGROUND UTILITIES SHOWN.

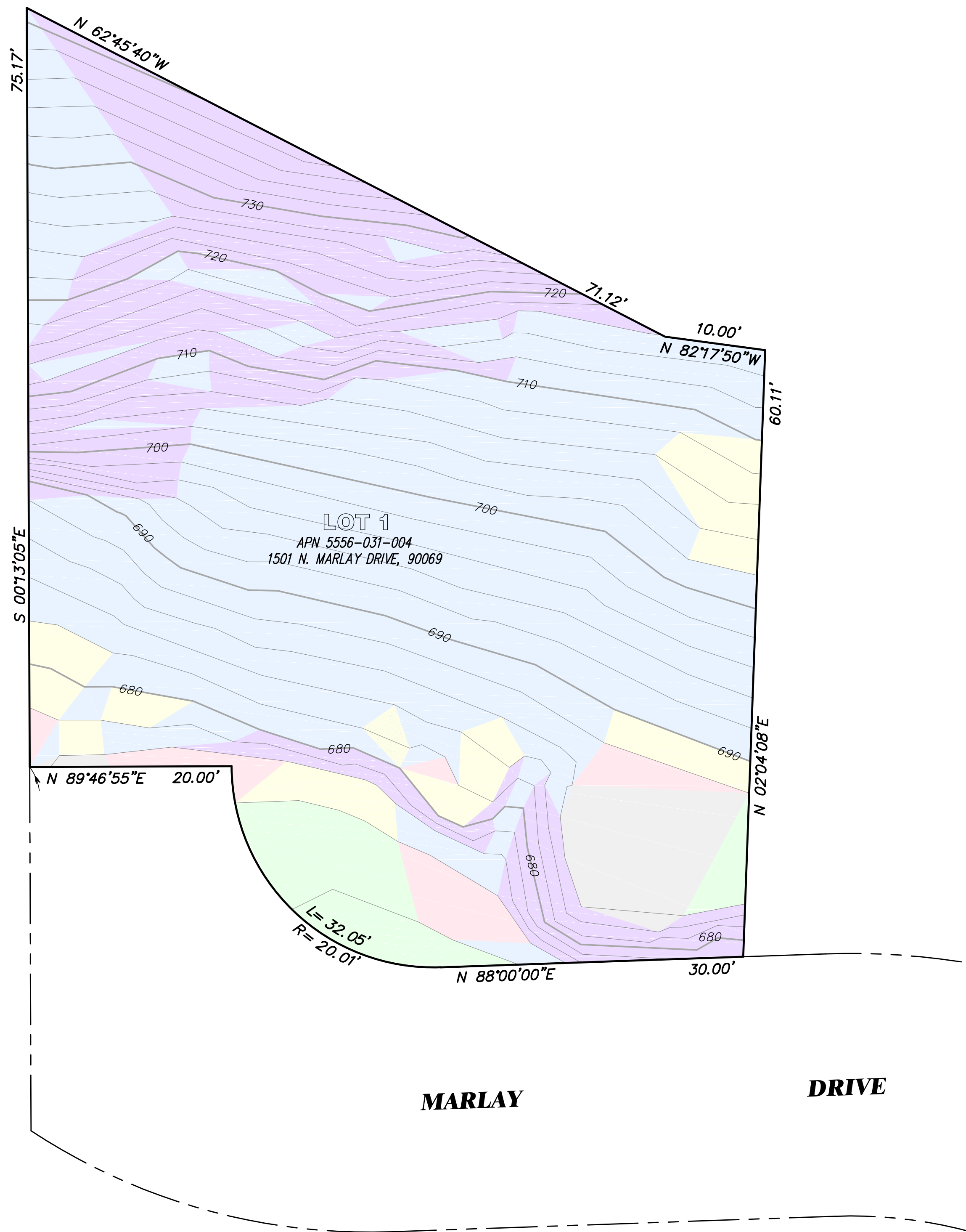
EASEMENTS

EASEMENTS, IF ANY, ARE NOT ADDRESSED
HEREON.

NOTE:

ORIGINAL ON-SITE TOPO GATHERED BY
CONVENTIONAL GROUND SURVEY METHODS IN
JANUARY 2005. PERIPHERAL OFF-SITE TOPO
GATHERED BY AERIAL PHOTOGRAMMETRIC
METHODS IN DECEMBER 2006.



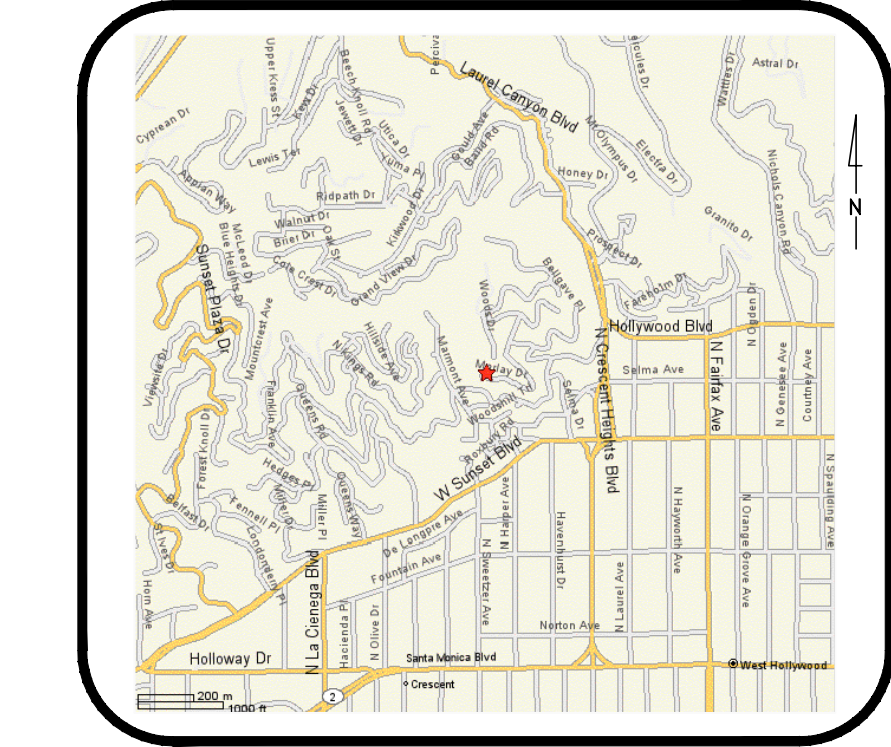


BIRD'S EYE VIEW FROM SOUTHWEST

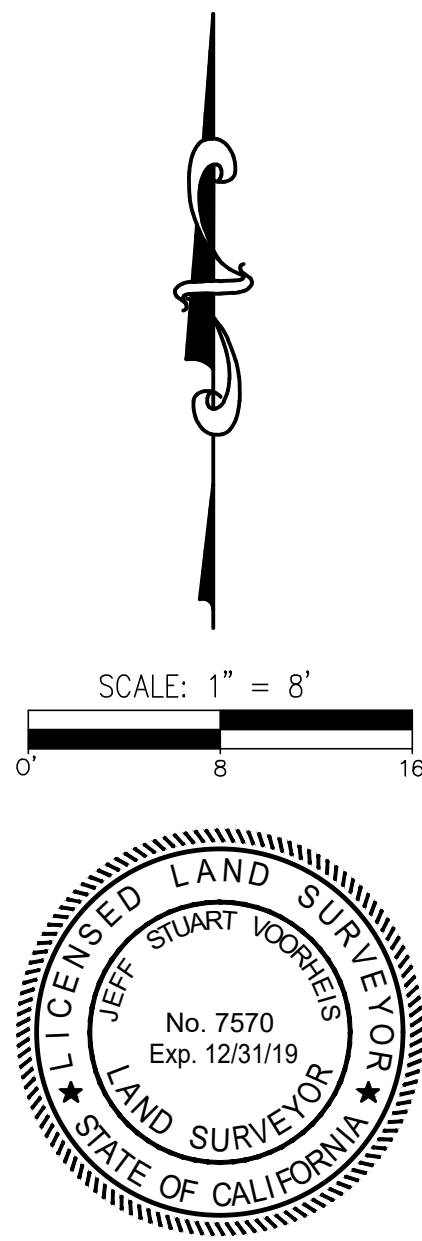
Worksheet 1. Hillside Area Maximum Residential Floor Area Formula					
COLOR	(A) Slope Bands (%)	(B) Lot Area within each slope band (sq-ft). From survey/contour map.	(C) FAR from the zone circled in Table 1 or 2		(D) _{WV} Max. Residential Floor Area allowed within each slope band
	0-14.99	197	X 0.45	=	88.7
	15-29.99	240	X 0.45	=	108.0
	30-44.99	151	X 0.40	=	60.4
	45-59.99	361	X 0.35	=	126.4
	60-99.99	2742	X 0.30	=	822.6
	100 +	1317	X 0.00	=	0.0
Maximum Residential Floor Area =					1,206.1

Table 1 Single - Family Zone Hillside Area Residential Floor Area Ratios (RFAR)								
Slope Bands (%)	RI	RS	RE9	RE11	RE15	RE20	RE40	RA
0-14.99	0.45	0.45	0.40	0.40	0.35	0.35	0.35	0.25
15-29.99	0.45	0.40	0.35	0.35	0.30	0.30	0.30	0.20
30-44.99	0.40	0.35	0.30	0.30	0.25	0.25	0.25	0.15
45-59.99	0.35	0.30	0.25	0.25	0.20	0.20	0.20	0.10
60-99.99	0.30	0.25	0.20	0.20	0.15	0.15	0.15	0.05
100 +	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Table 2 Single - Family Zone Hillside Area Residential Floor Area Ratios (RFAR)				
Slope Bands (%)	RIH1	RIH2	RIH3	RIH4
0-14.99	0.65	0.55	0.45	0.40
15-29.99	0.60	0.50	0.45	0.35
30-44.99	0.55	0.45	0.40	0.30
45-59.99	0.50	0.40	0.35	0.25
60-99.99	0.45	0.35	0.30	0.20
100 +	0.00	0.00	0.00	0.00



VICINITY MAP
NOT TO SCALE



LEGAL DESCRIPTION

LOT 1
TRACT NO. 12204
M.B. 230 PAGES 40-41

APN 5556-031-004

ZONING

R1-1 (LOW II RESIDENTIAL)
(HILLSIDE AREA)

AREA

5,008 SQ. FT.
0.115 ACRES

DATE	BY	DESCRIPTION
3/28/18	M.E.	REVISED SLOPE BAND PER ZI NO.2462 3/17/17 (NO FIELD OBSERVATION WAS PERFORMED)

Client: **ROBERT STECHER**
C/O SARA SCHUSTEROW
9220 KINGLET DRIVE
LOS ANGELES, CA 90069
Phone:

SLOPE ANALYSIS MAP
1501 NORTH MARLAY DRIVE
WEST HOLLYWOOD, CA 90069
DATE: 05/09/13 JOB NO. 0501D

VOORHEIS & VOORHEIS, INC.
PROFESSIONAL LAND SURVEYORS SINCE 1974
17049 Sunburst Street, Northridge, CA 91325
Phone: (818) 993-5611
mail@SurveyLA.com