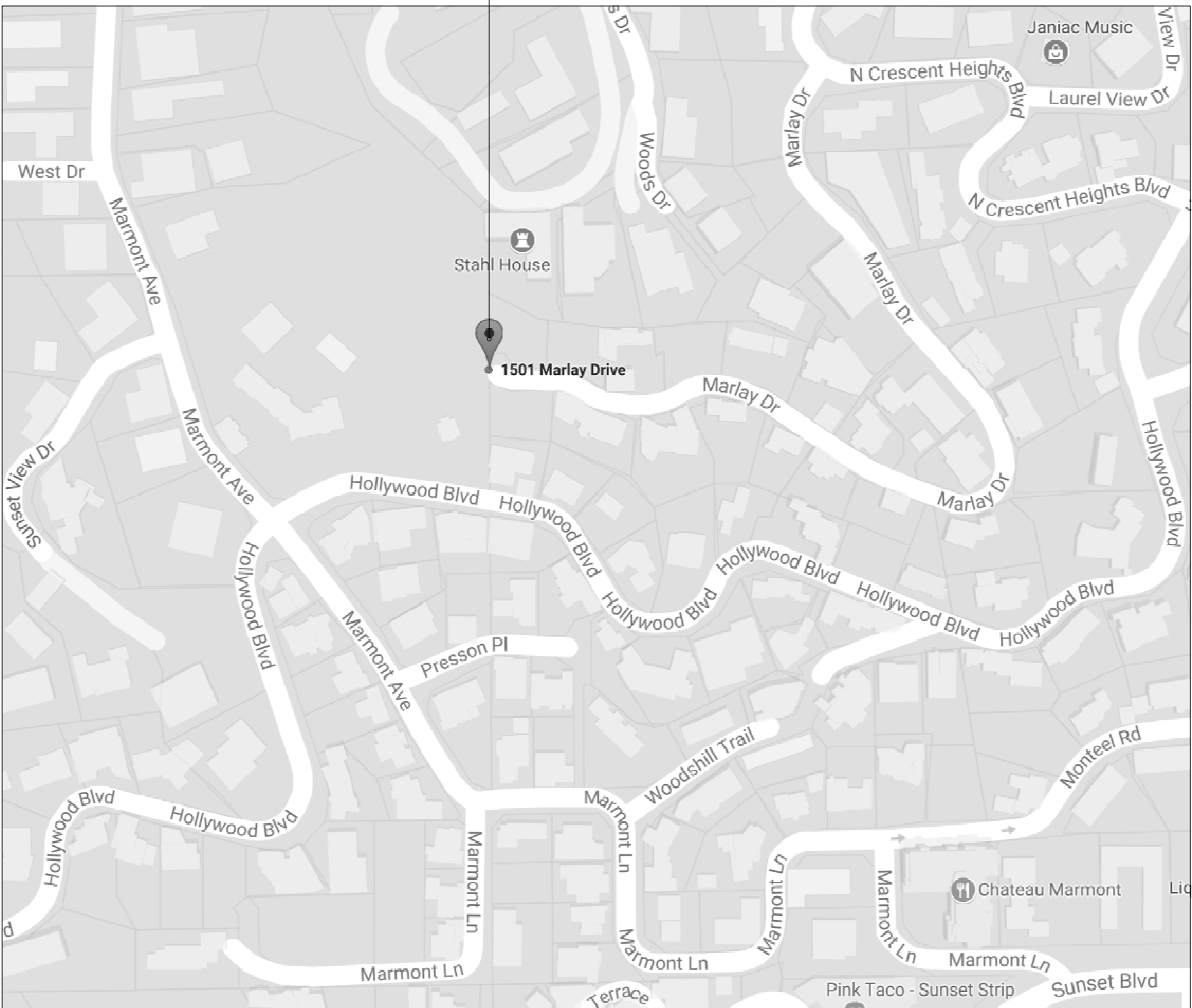


RETAINING WALL INFORMATION					
WALL	MAX. HEIGHT	LENGTH*	LENGTH IN PUBLIC R.O.W.	LENGTH IN FRONT YARD	NOTES
A-ROOF	22'-1 1/2"	58'-4"	-	-	TAKEN FROM ROOF DECK
A-DRVWAY	22'-10 1/4"	(see above)	10'-11 1/2"	6'-11"	TAKEN FROM ADJACENT GRADE
B	35'-4"	60'-1 1/2"	-	-	TAKEN FROM ROOF DECK
C	26'-11 1/2"	7'-1"	-	-	TAKEN FROM POOL DECK
TOTAL	-	125'-6 1/2"	-	-	

* NOTE: LINEAR DIMENSIONS TAKEN FROM BACK OF RETAINING WALLS

PROJECT SITE



VICINITY MAP

ADJACENT PROPERTY:
NO EXISTING
STRUCTURES WITHIN
50' OF PROPERTY LINE

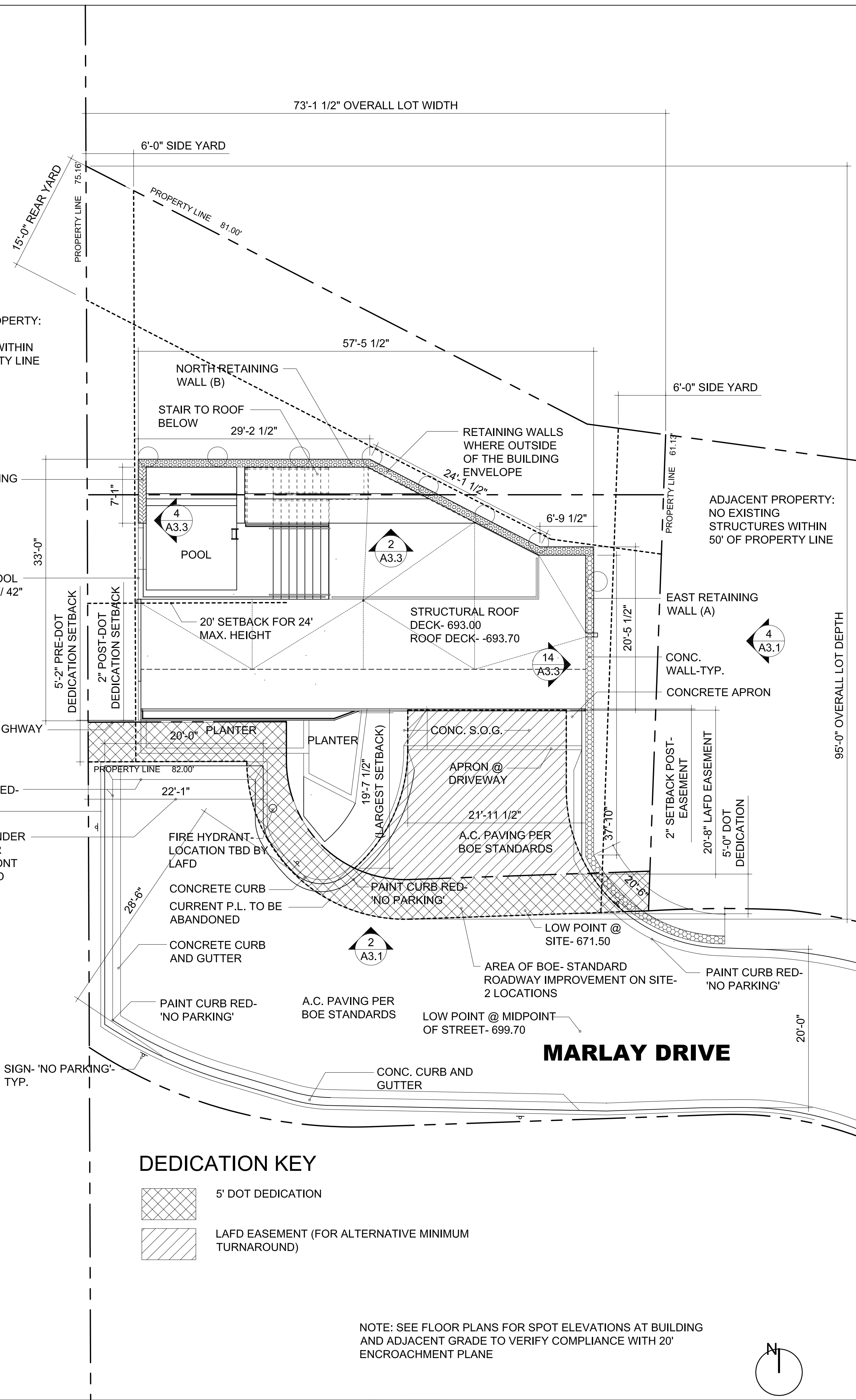
WEST RETAINING
WALL (C)

CONCRETE POOL
DECK EDGE W/ 42"
GUARD

NEW P.L. W/ HIGHWAY
DEDICATION

PAINT CURB RED-
'NO PARKING'

FRONTAGE UNDER
REQUEST FOR
REDUCED FRONT
YARD PER ZAD



DEDICATION KEY

- 5' DOT DEDICATION
- LAFD EASEMENT (FOR ALTERNATIVE MINIMUM TURNAROUND)

NOTE: SEE FLOOR PLANS FOR SPOT ELEVATIONS AT BUILDING AND ADJACENT GRADE TO VERIFY COMPLIANCE WITH 20' ENCROACHMENT PLANE

SITE PLAN
SCALE: 1/8" = 1'-0"

INDEX OF DRAWINGS

- A0.1- COVER SHEET/SITE PLAN
- A0.2- ZONING DIAGRAMS
- A1.1 - FLOOR PLANS
- A1.2- FLOOR PLANS/ROOF PLAN
- A3.1- EXTERIOR ELEVATIONS
- A3.2- RENDERINGS
- A3.3- RETAINING WALL ELEVATIONS
- A4.1- BUILDING AND SITE SECTIONS
- A4.2- BUILDING AND SITE SECTIONS
- L1.0- LANDSCAPE PLAN
- L1.1- LANDSCAPE FORMS
- L2.0- IRRIGATION PLAN
- L2.1- TOPOGRAPHIC SURVEY
- L2.1- SLOPE ANALYSIS MAP

SCOPE OF WORK

3,100 S.F. NEW 1 STORY SINGLE FAMILY RESIDENCE WITH BASEMENT AND SUB BASEMENT: BASEMENT LEVEL W/GARAGE, FIRST LEVEL WITH DECKS, ROOF DECK, & POOL.

NO TREES WILL BE IMPACTED BY THIS DEVELOPMENT

PROJECT DATA

LEGAL DESCRIPTION:	LOT 1, TRACT TR 12204 MAP SHEET PAGE 148-5A/75 148-5A 175 314 5556031004
PIN NUMBER:	MB 230-40/41
APN:	IRREGULAR
DISTRICT MAP:	5,025.8 SQUARE FEET
LOT TYPE:	CD 4-DAVID RYU
LOT SIZE:	1942.00
COUNCIL DISTRICT:	
CENSUS TRACT:	
ZONE:	R1-1
ZONING INFORMATION:	HILLSIDE AREA BASELINE HILLSIDE ORDINANCE
HILLSIDE GRADING AREA:	YES
FRONT YARD:	5 FEET MAX. OR PREVAILING
REAR YARD:	15 FEET
SIDE YARDS:	10% LOT WIDTH- 5' MAX. +1' TO 3' MIN.
OFF STREET PARKING:	2 COVERED
OCCUPANCY GROUP:	R-3
NUMBER OF STORIES:	2
ENVELOPE HEIGHT LIMIT:	28' 24" WITHIN 20 FEET OF PROP. LINE
MAXIMUM BUILDING HEIGHT LIMIT:	45'
MAXIMUM BUILDING HEIGHT:	28'-2-1/2" NOT INCLUDING BACK IMPACT WALL
ALLOWED RESIDENTIAL FLOOR AREA (SLOPE ANALYSIS):	1,206 S.F.
(* SEE SECTION 12.02 BELOW)	
PROPOSED RESIDENTIAL FLOOR AREA:	1,201 S.F.
AREA: (*SEE SECTION 12.02 BELOW)	SUB-BASEMENT LEVEL DOES NOT CONTRIBUTE TO RFA SUB-BASEMENT LEVEL DOES NOT CONTRIBUTE TO RFA
PROPOSED TOTAL RESIDENTIAL FLOOR AREA:	3,100 S.F. (948 + 951 + 1,201)
(* SEE SECTION 12.02 BELOW)	SUB-BASEMENT LEVEL: 948 S.F. (W/O STAIR @ 79 S.F.) BASEMENT LEVEL RESIDENTIAL: 951 SF (W/O STAIR @ 79 S.F.) BASEMENT LEVEL GARAGE: 414 SF FIRST LEVEL RESIDENTIAL: 1,201 SF (STAIR COUNTED) ROOF: 0 SF

PER SECTION 12.02 - IS THAT AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING BUT NOT INCLUDING THE AREA OF THE FOLLOWING:
EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS ASSOCIATED DRIVEWAY & RAMPS, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

APPLICABLE CODES

- CITY OF LOS ANGELES PLANNING AND ZONING CODE
- 2016 CITY OF LOS ANGELES AMENDED BUILDING CODE
- 2016 CITY OF LOS ANGELES AMENDED MECHANICAL CODE
- 2016 CITY OF LOS ANGELES AMENDED PLUMBING CODE
- 2016 CITY OF LOS ANGELES AMENDED ELECTRICAL CODE
- 2016 CITY OF LOS ANGELES AMENDED GREEN BUILDING CODE

CONSULTANTS

Architect	Paul Coleman, Architect 1081 North Granada Drive Orange, California 92869 m 213.700.2297
SURVEY/SLOPE MAP	Voorheis & Voorheis 17049 Sunburst Street Northridge, California 91325 818.993.5611
Civil Engineer	JK & Associates 1295 Los Angeles Street Glendale, CA 91204 (818)907-9881
Structural Engineer	Structural Design Plus, Inc. 15053 Ventura Blvd, Suite 205 Sherman Oaks, CA 91403 (818)905-9871
Title 24 Energy Documentation	Structural Design Plus, Inc. 15053 Ventura Blvd, Suite 205 Sherman Oaks, CA 91403 (818)905-9871
Landscape Architect	Lewis & Associates Landscape Architecture 13351-D Riverside Drive #445 Sherman Oaks, CA 91423 T: 818-788-9382 F: 818-788-3217

PROJECT INFO
SCALE: NTS

PAUL@LUCOL.COM

213 700 2297

92869

1081 NORTH GRANADA DRIVE, ORANGE CALIFORNIA 92869

PAUL COLEMAN, ARCHITECT

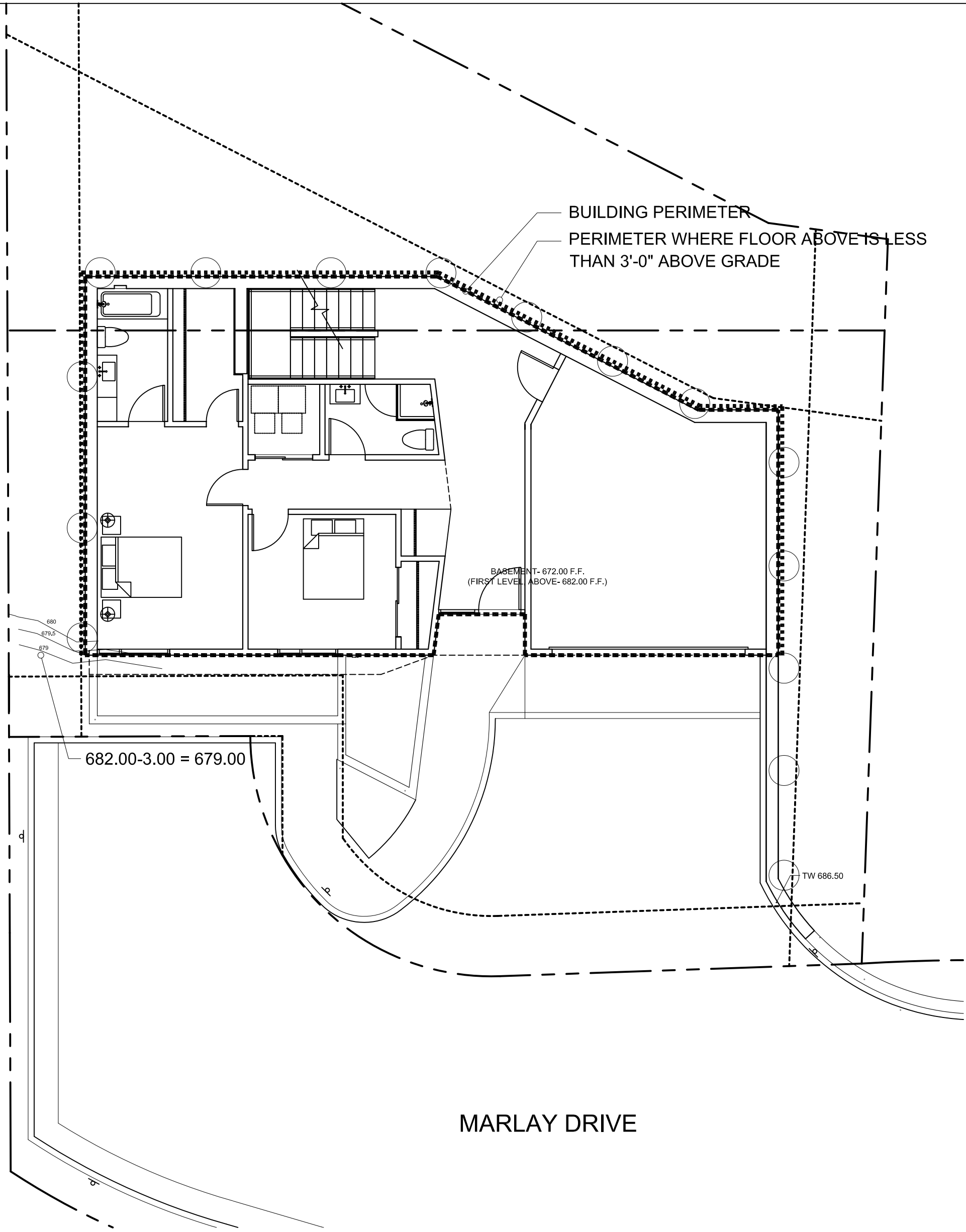
29 MARCH, 2019

COVER SHEET/SITE PLAN

4
A0.1

Hillside Residence
1501 Marlay Drive
Los Angeles, California 90069

A0.1



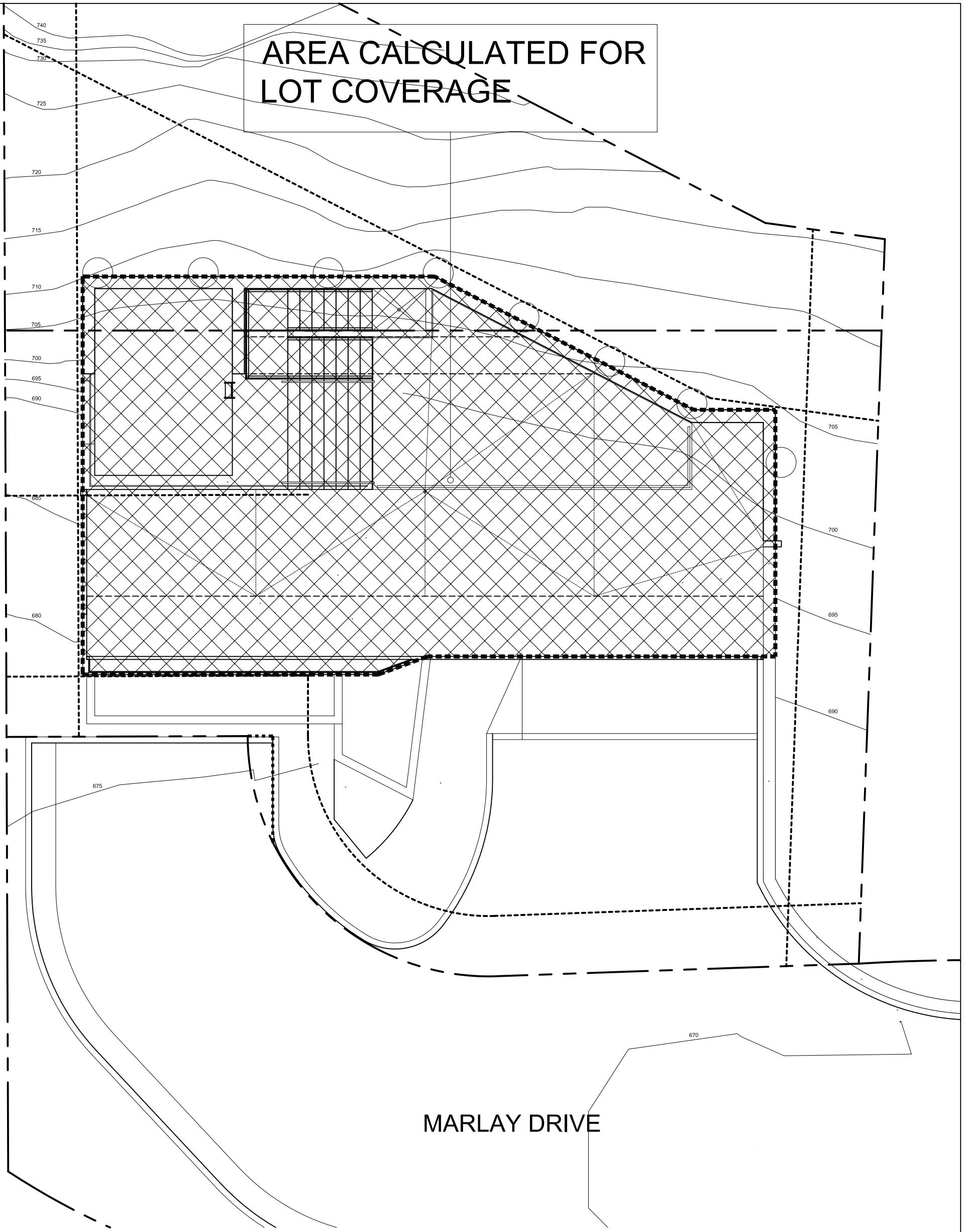
FLOOR PLAN
SCALE: 1/8" = 1'-0"

BASEMENT CALCULATION

TOTAL LENGTH = 175.75

LENGTH WHERE FLOOR ABOVE IS < 3'-0" ABOVE GRADE = 111.75

111.75/175.75= 63.58% >60% OK



SITE PLAN
SCALE: 1/8" = 1'-0"

LOT COVERAGE AREA

LOT AREA = 5,025.8 SQUARE FEET

LOT COVERAGE = 1,657.2 SQUARE FEET

1,657.2 S.F. / 5,025.8 S.F. = 0.33

LOT COVERAGE = 33% < 40%- OK

PREVAILING SETBACK CALCULATOR:

Add Lot

Enter the Lot information after adding rows:

Lot	Frontage (ft)	Setback (ft)
5	771	
6	79.6	1
7	73.46	
34	90.22	0
35	70	2
15	84.41	7.5
16	37.91	29
17	52.56	6.5

ClearCalculate

Results

Number of lots: 8

Prevailing Setback: 3.40 ft

Calculation

Total no of lots entered: 8

Total frontage entered: 565.26 ft

40% from total frontage entered: 226.10 ft

No of lots used in the calculation: 5

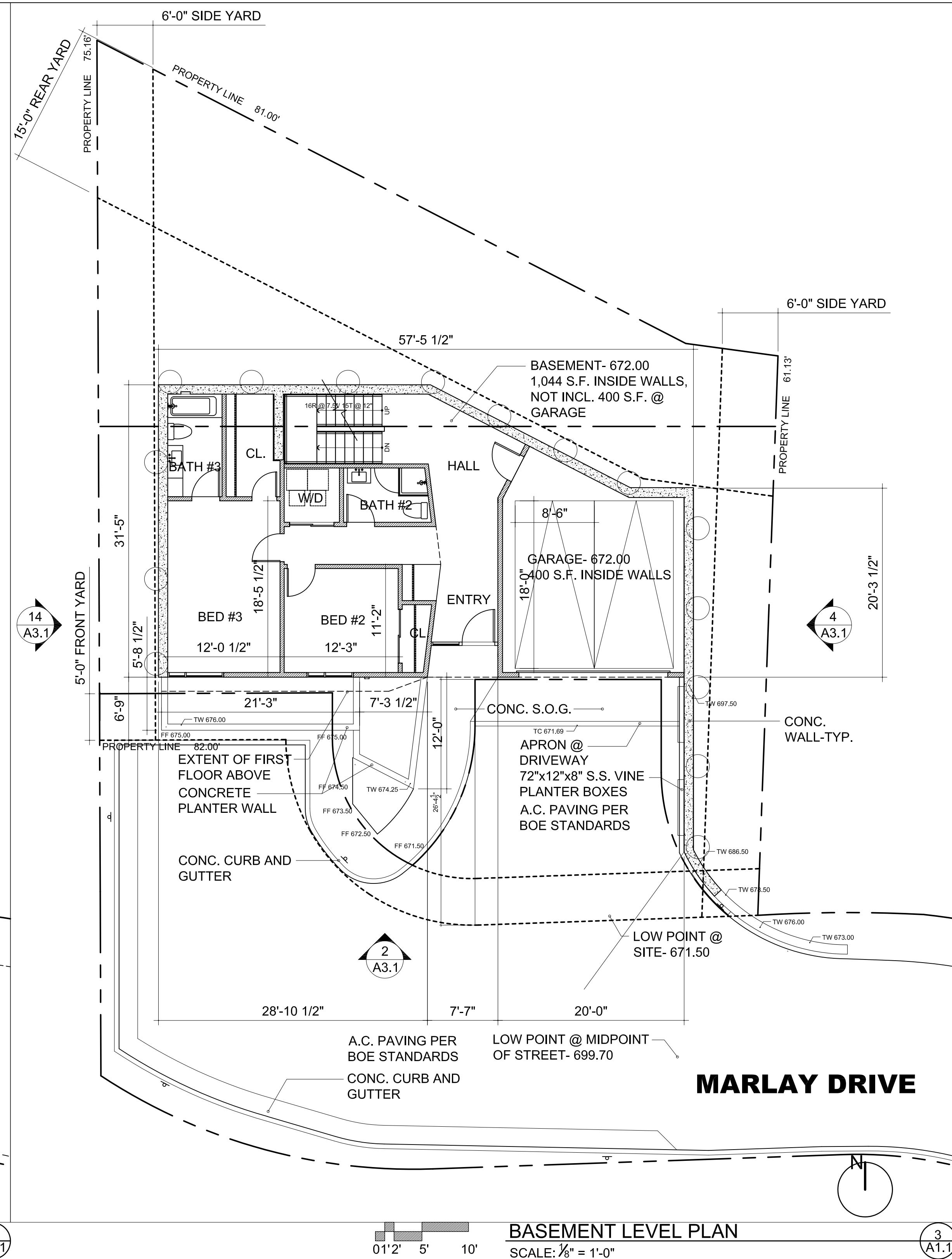
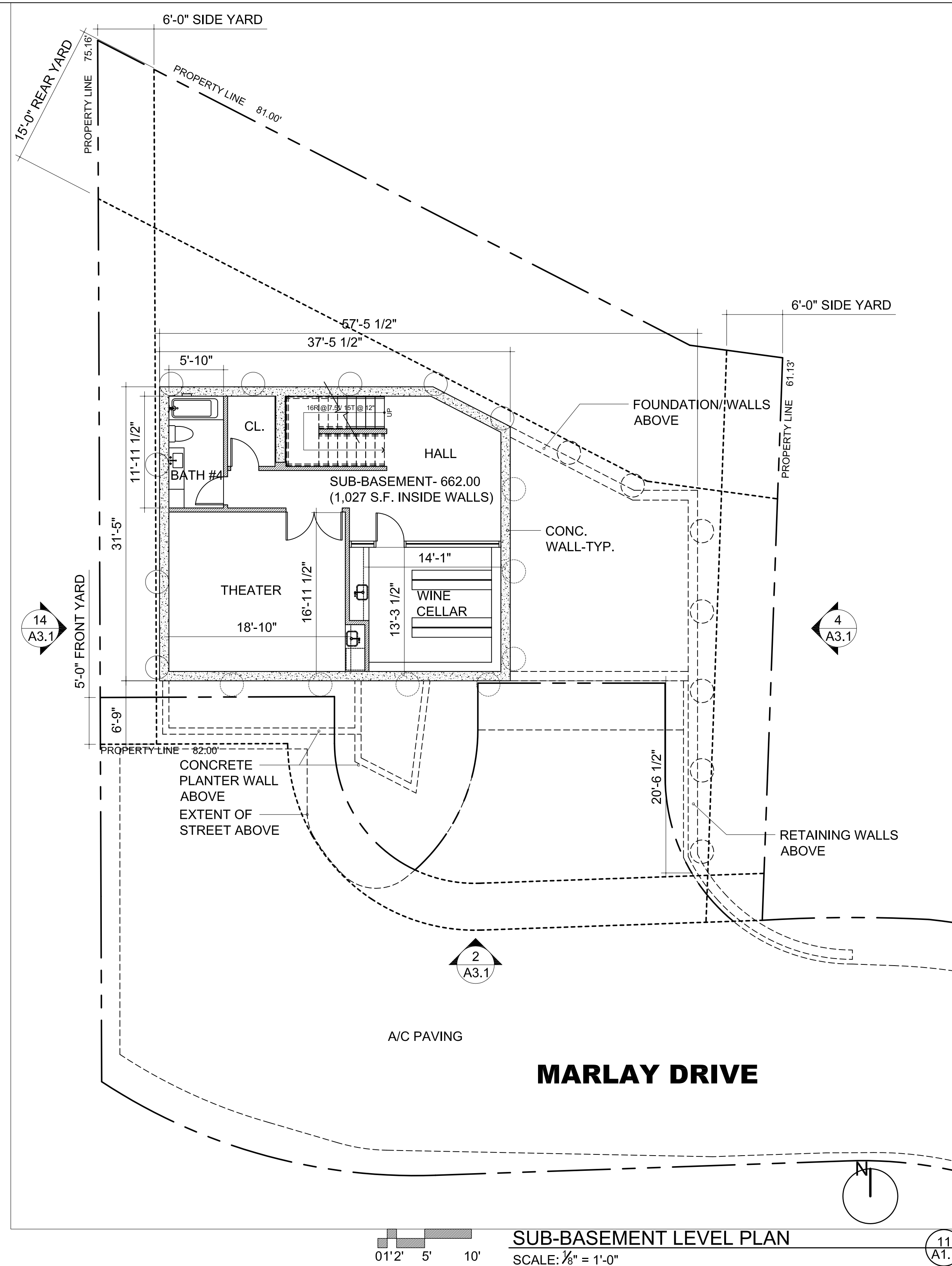
Setback range used: 0.00 ft - 7.50 ft

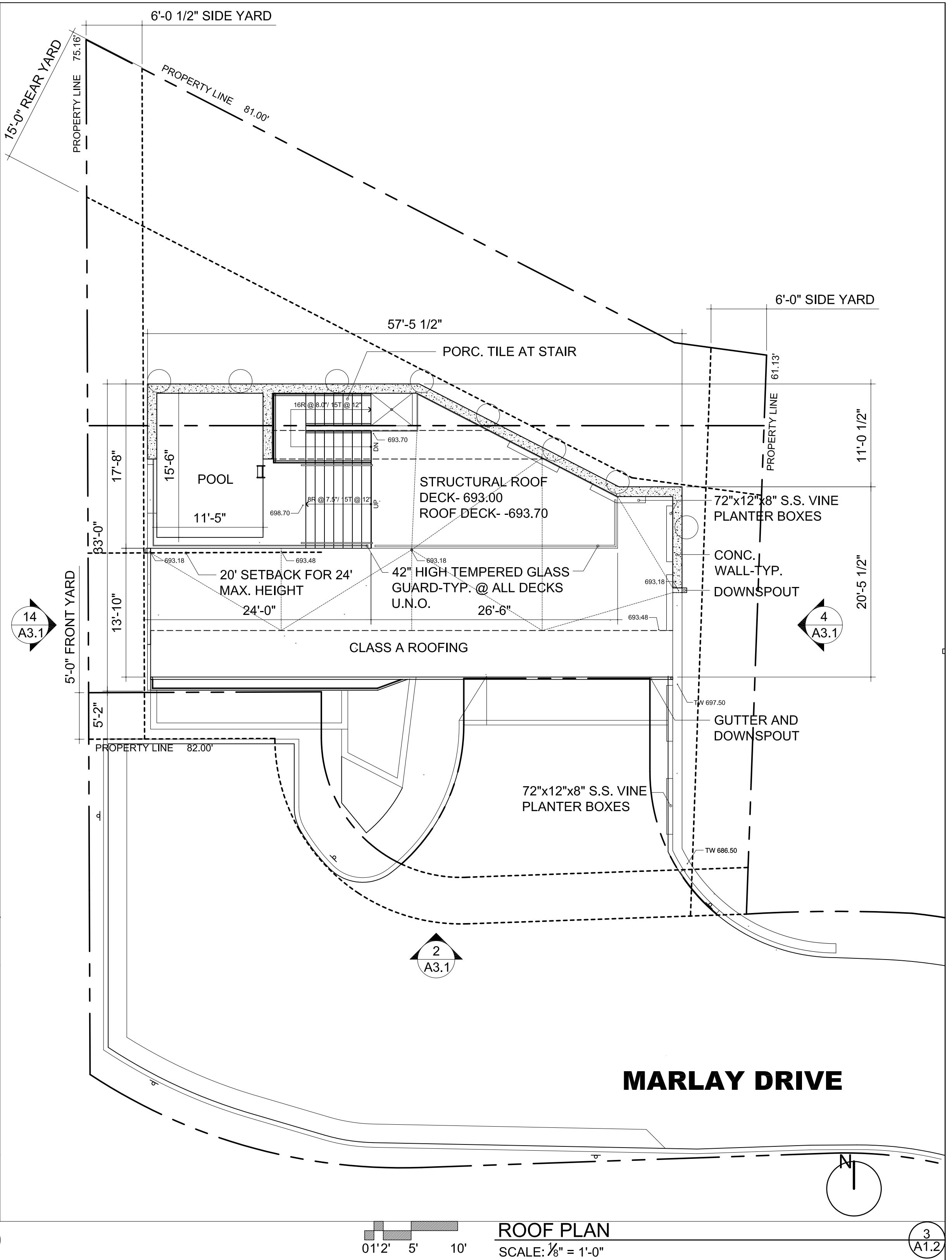
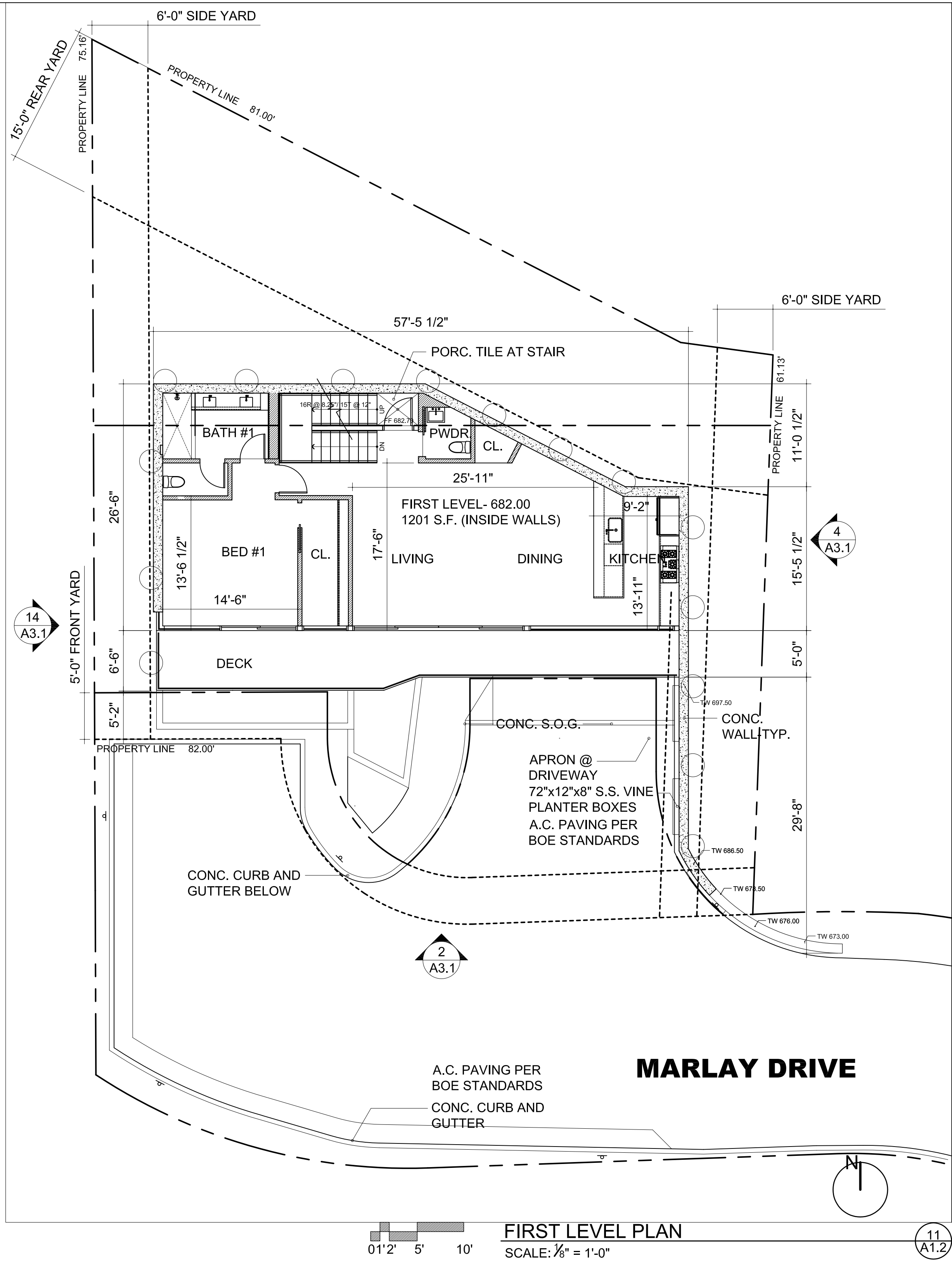
Total frontage used in the calculation: 376.79 ft

Lots Used

Lot	Frontage (ft)	Setback (ft)
6	79.60	1.00
15	84.41	7.50
17	52.56	6.50
34	90.22	0.00
35	70.00	2.00

View Calculation Details







SOUTHWEST AERIAL VIEW
SCALE: NTS

14
A3.2



VIEW FROM SOUTHWEST
SCALE: NTS

2
A3.2



VIEW FROM SOUTHEAST
SCALE: NTS

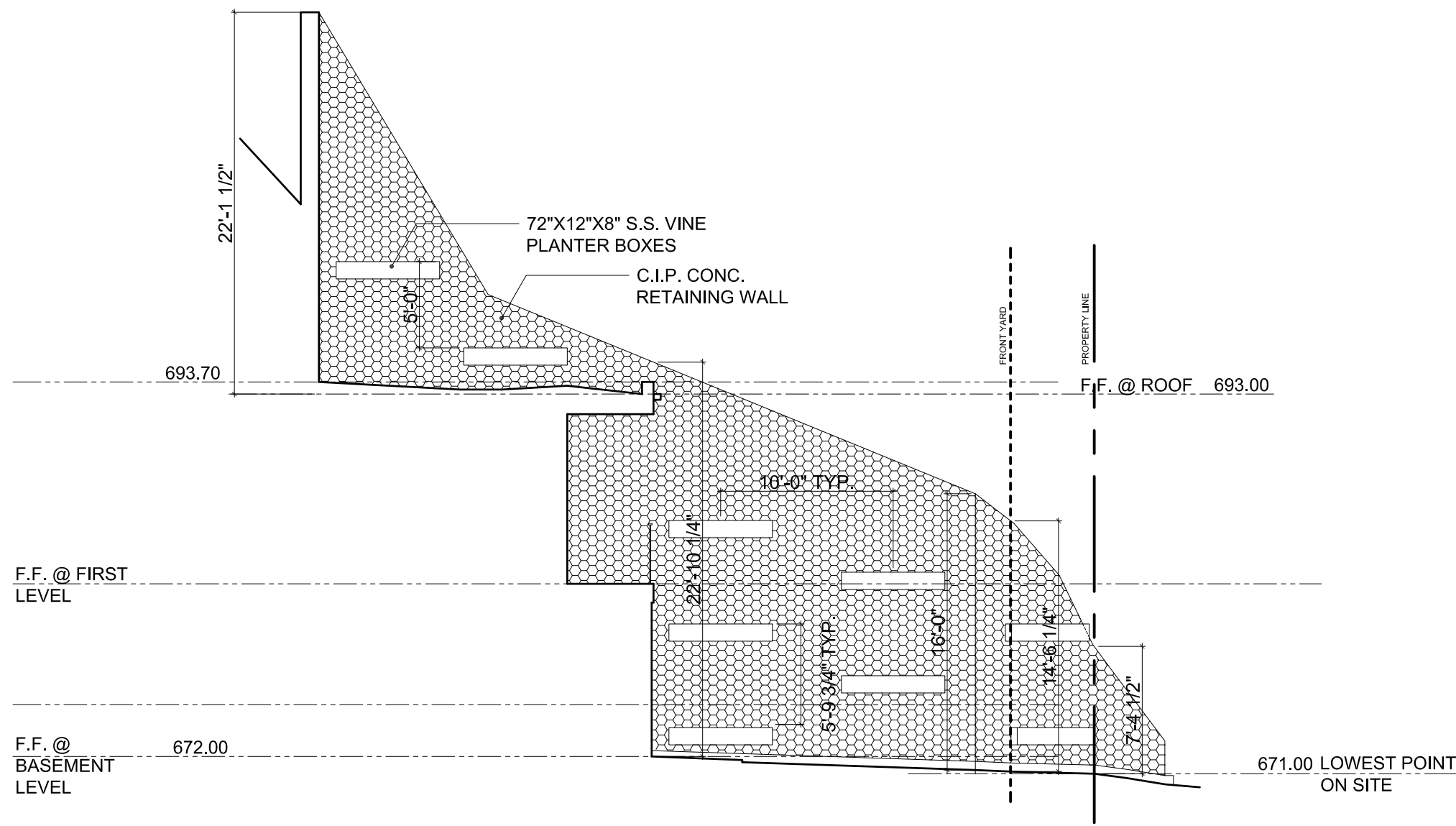
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A3.2

RENDERINGS
29 MARCH, 2019

PAUL COLEMAN, ARCHITECT 1081 NORTH GRANADA DRIVE, ORANGE CALIFORNIA 92869 213 700 2297 PAUL@LUCOL.COM

Hillside Residence
1501 Marlay Drive
Los Angeles, California 90069

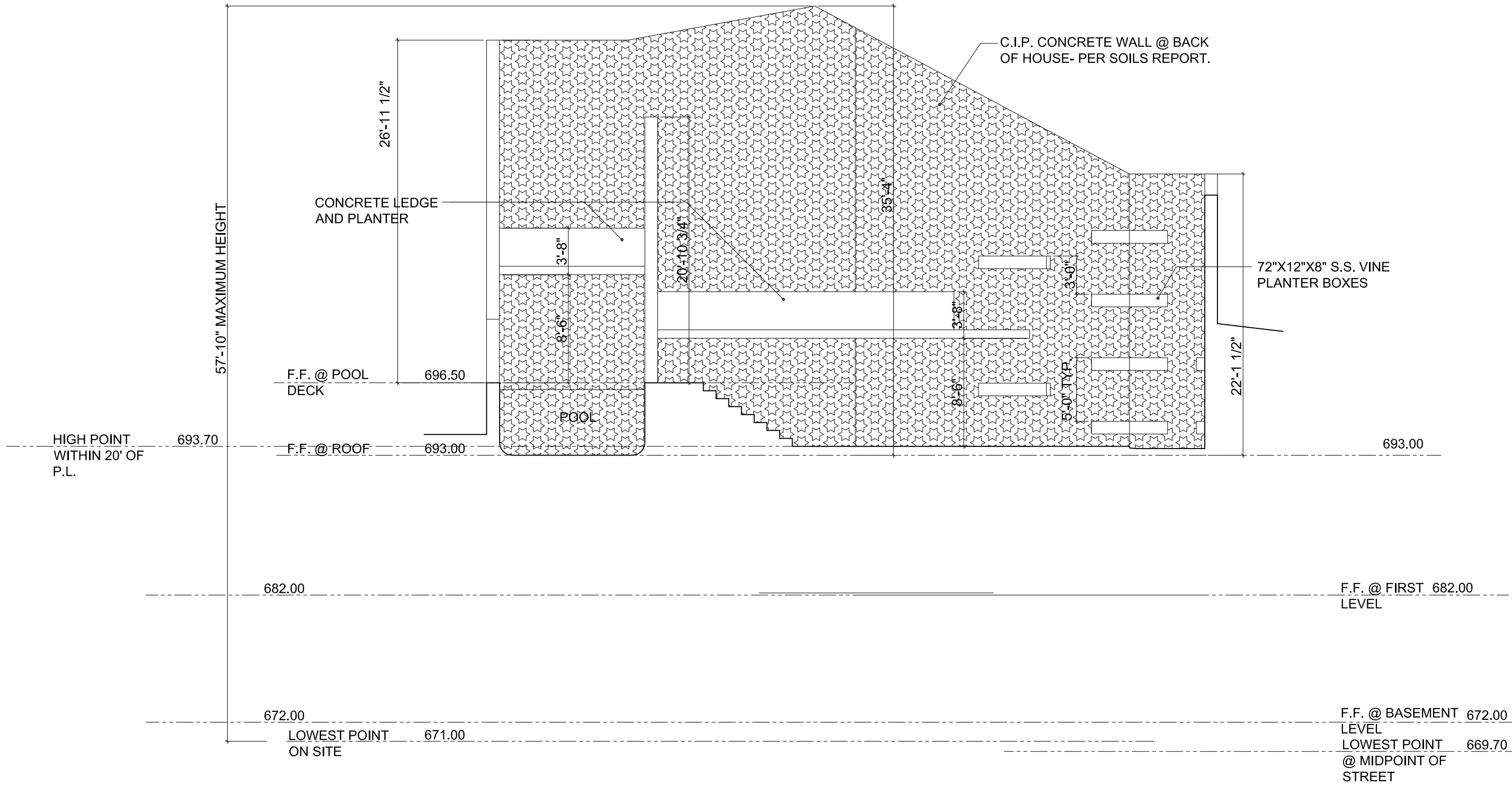
A3.2



EAST RETAINING WALL ELEVATION (A)

SCALE: 1/8" = 1'-0"

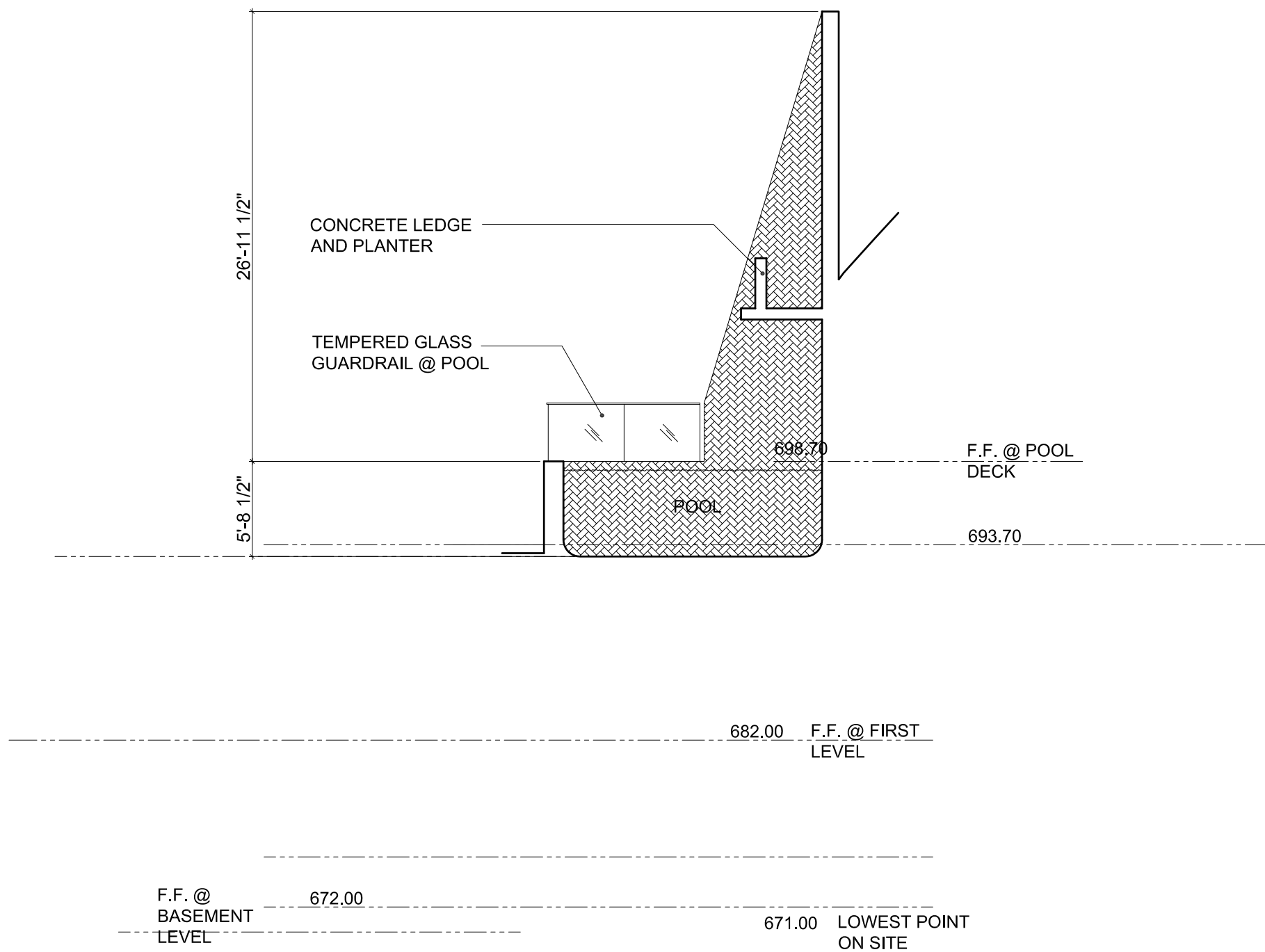
14
A3.3



NORTH RETAINING WALL ELEVATION (B)

SCALE: 1/8" = 1'-0"

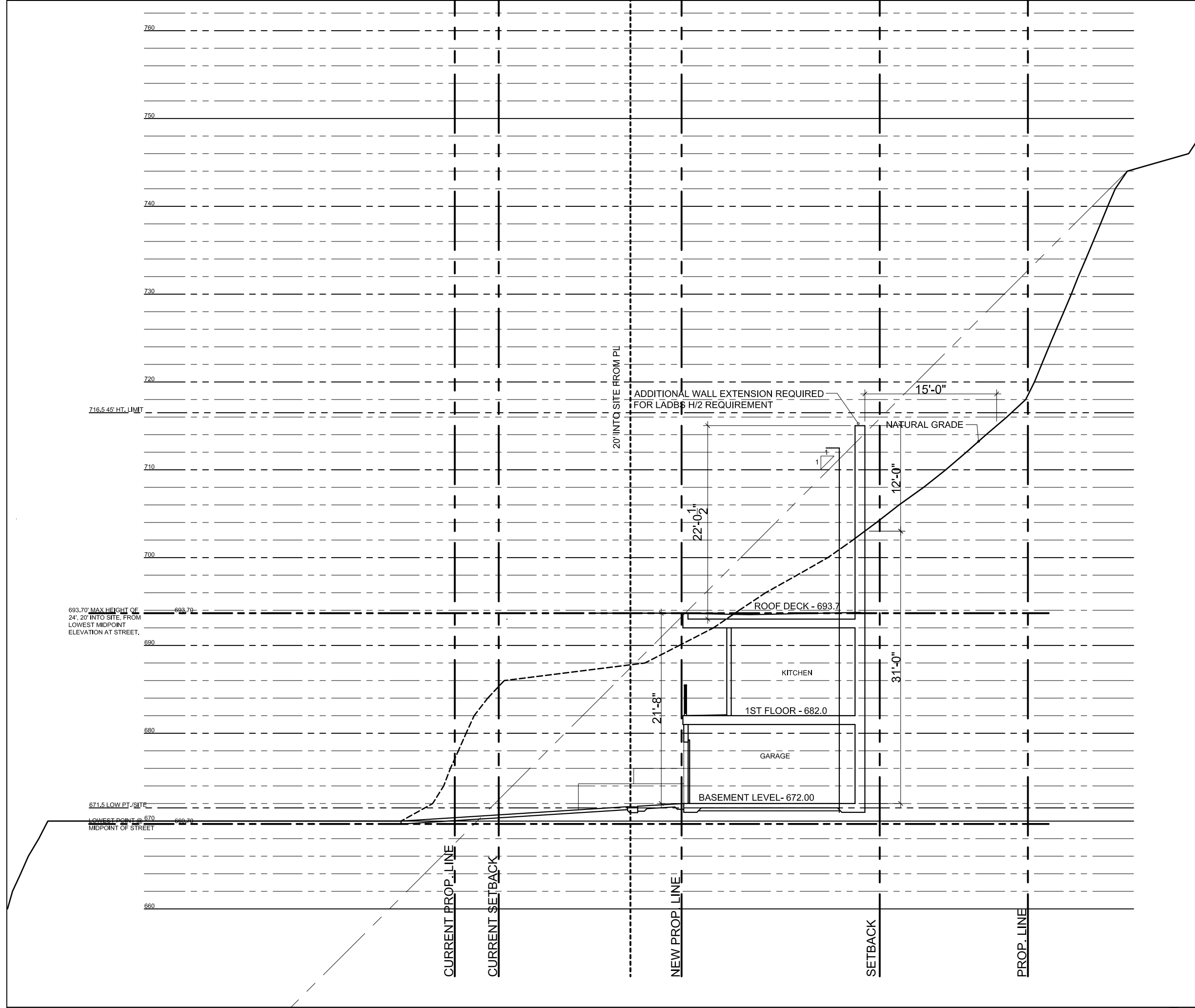
2
A3.3



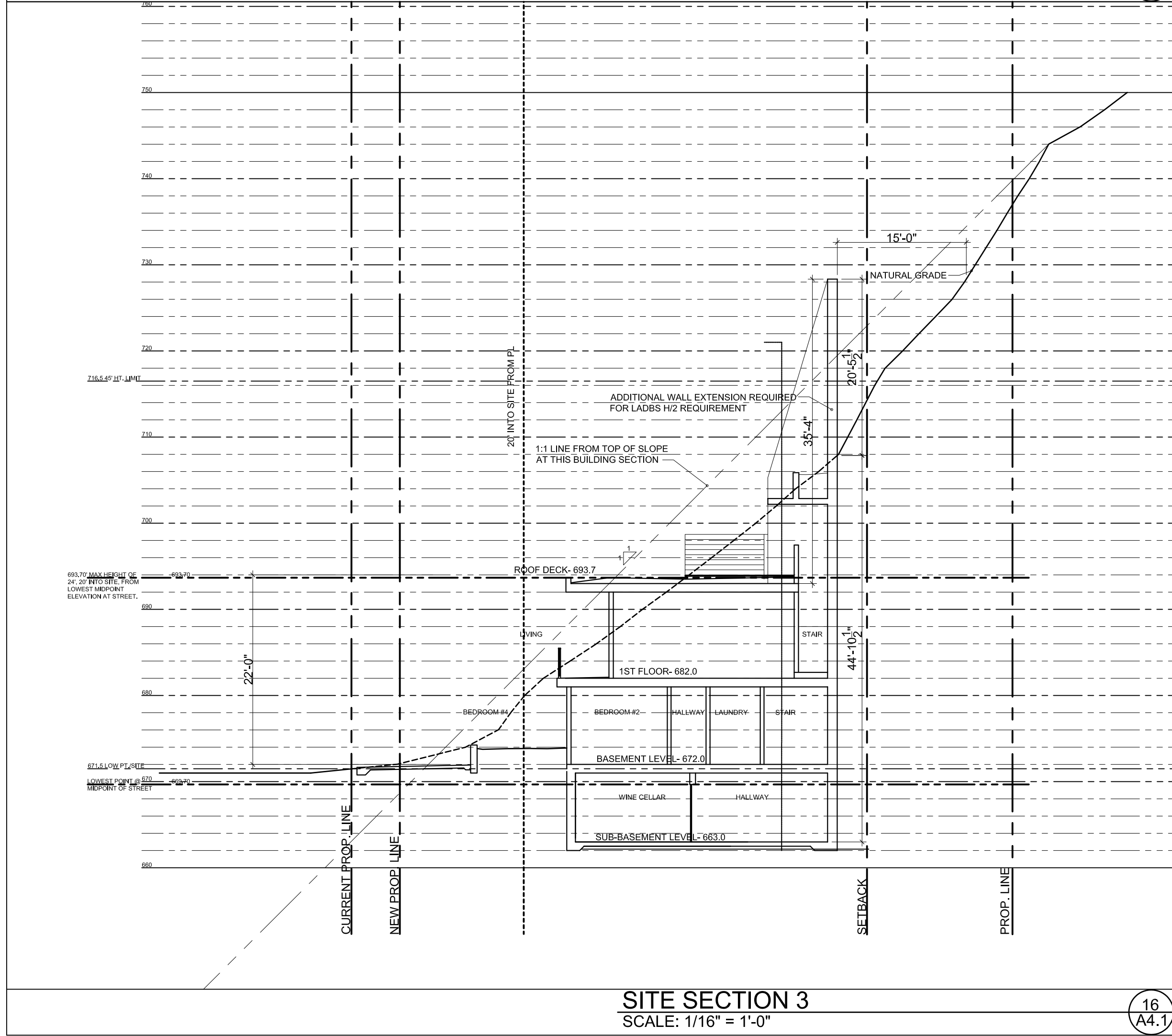
WEST RETAINING WALL ELEVATION (C)

SCALE: 1/8" = 1'-0"

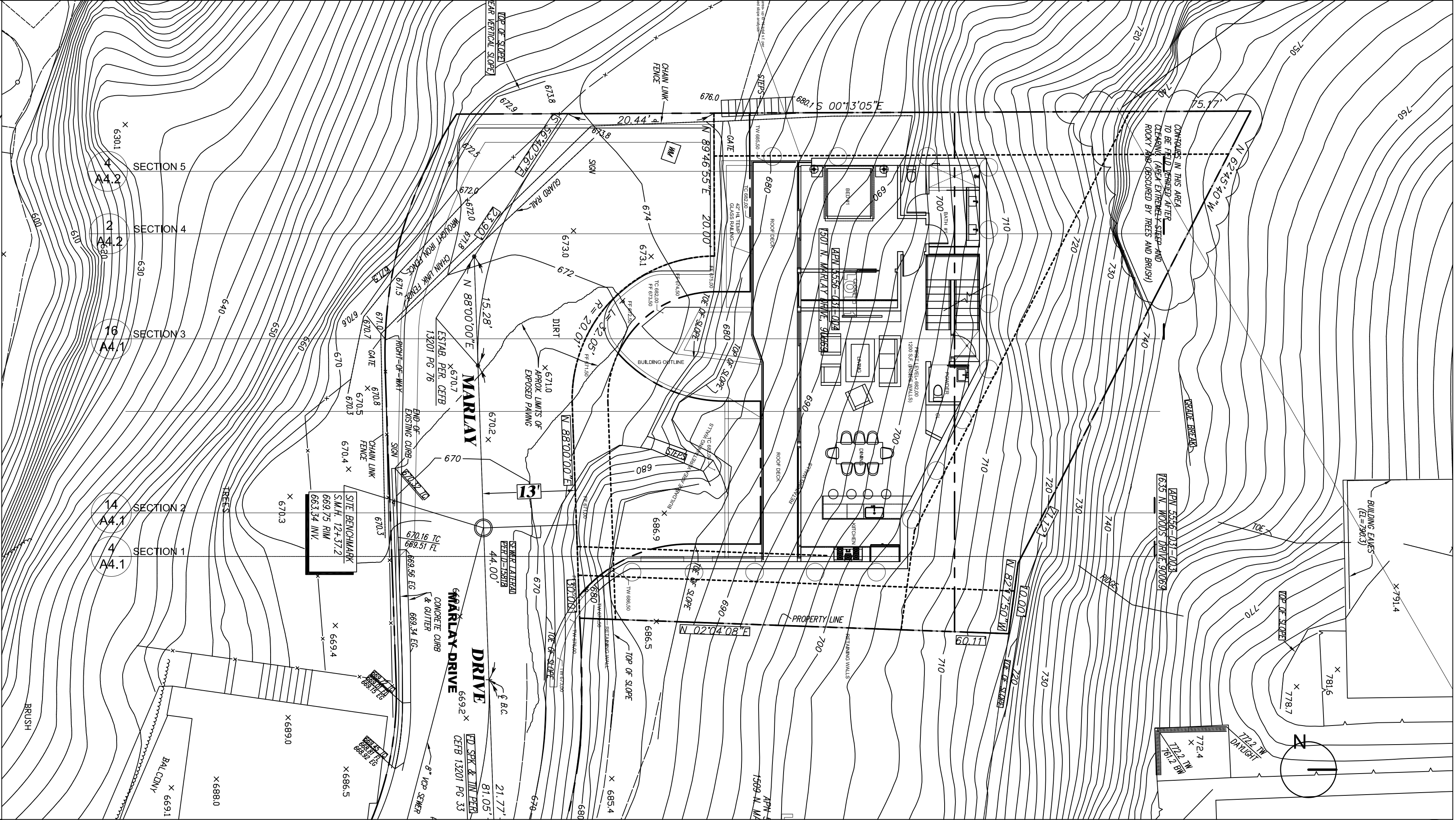
4
A3.3



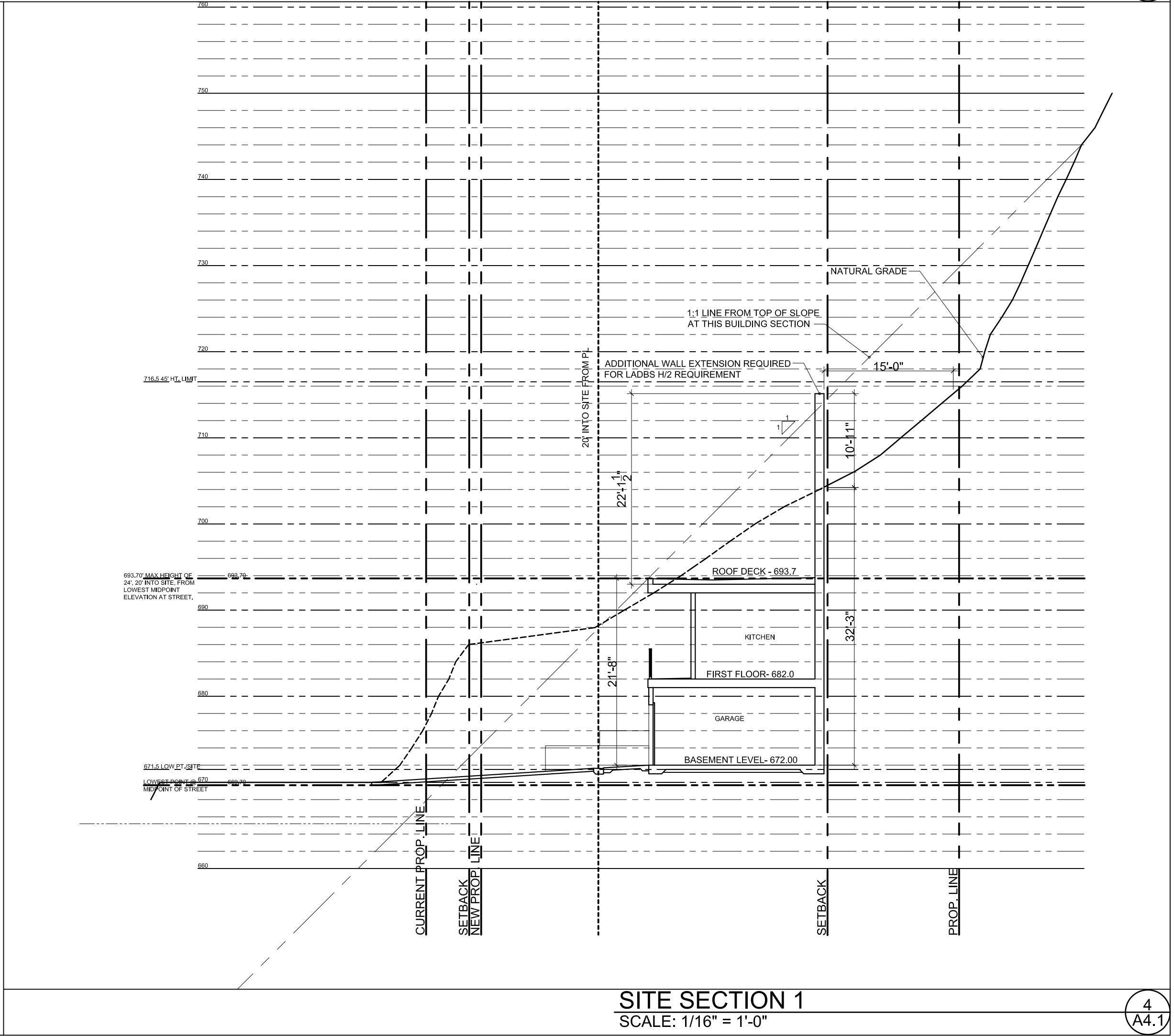
SITE SECTION 2
SCALE: 1/16" = 1'-0"



SITE SECTION 3
SCALE: 1/16" = 1'-0"



SITE PLAN
SCALE: 3/32" = 1'-0"



SITE SECTION 1
SCALE: 1/16" = 1'-0"



OWNER MANUAL/LANDSCAPE CERTIFICATION FORM GRN 12
2011 Los Angeles Green Building Code
(This form is required at final inspection)

OWNER'S MANUAL

- ☐ I hereby certify that an owner's manual, compact disc, or web-based reference complying with the Los Angeles Green Building Code has been provided to the owner and will be placed and stored within the building; **OR**
- ☐ No new equipment or fixture was installed in the construction of this project.

Name: _____ Relationship to project: _____
Company Name (if applicable): _____ State License No. (if applicable): _____
Signature: _____ Date: _____

LANDSCAPING

Section A: Landscape Designer

- ☒ I certify that I am qualified by the State of California to perform landscape design services; the landscape design and water use calculations for this project were prepared by me or under my supervision, the landscape design and water use calculations comply with the requirements of the City of Los Angeles Irrigation Guidelines, and the Landscape Documentation Package is complete; **OR**
- ☐ Interior T.I., no landscape work performed (**do not need to complete sections B or C below;**) **OR**
- ☐ This project is not subject to the City of Los Angeles Irrigation Guidelines.

Name: PAUL LEWIS Relationship to Project: CONSULTANT
Company Name (if applicable): COURTLAND STUDIO, LLC State License # (if applicable): #3620
Signature: _____ Date: OCTOBER 2, 2017

Section B: Landscape Installer

- ☐ I certify that I am qualified by the State of California to provide landscape design services; the landscape project for this project was installed by me or under my supervision; the landscaping for the identified property has been installed in substantial conformance with the approved Landscape Documentation Package and complies with the requirements of the City of Los Angeles Irrigation Guidelines; the Certificate of Completion has been prepared in compliance with the requirements of the City of Los Angeles Irrigation Guidelines and shall be implemented.

Name: _____ Relation to Project: _____
Company Name (if applicable): _____ State License # (if applicable): _____
Signature: _____ Date: _____

Section C: Owner/Representative

- ☐ I certify that I am the property owner or an authorized representative and have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is my responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule.

Signature: _____ Date: _____

Revised 06-30-2011 Page 1 of 2 www.ladbs.org



OWNER MANUAL/LANDSCAPE CERTIFICATION FORM GRN 12
2011 Los Angeles Green Building Code
(This form is required at final inspection)

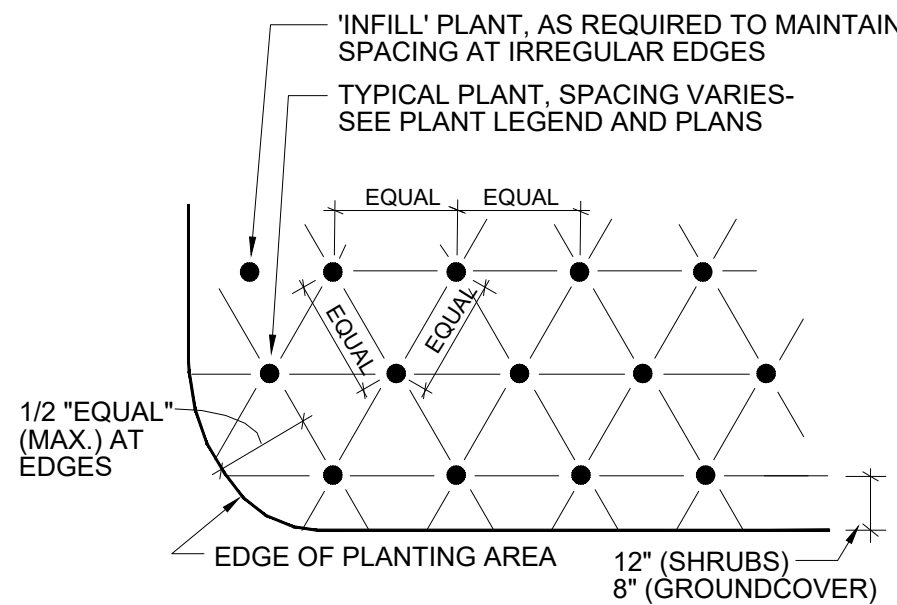
LANDSCAPE IRRIGATORS

- ☐ I hereby certify that the automatic irrigators are installed in such a way that they do not spray on the building

Name: _____ Relation to Project: _____
Company Name (if applicable): _____ State License # (if applicable): _____
Signature: _____ Date: _____

Qualified irrigation service provider: The following individuals are authorized to provide services required by the Irrigation Guidelines in the State of California: Landscape Architects, Landscape Contractors, Landscape Designers and Irrigation Consultants. Personal property owners may design and sign plans for work on any property they own. (Sections 5500.1, 5615, 5641, 5641.1, 5641.2, 5641.3, 5641.4, 5641.5, 5641.6, 6701, 7027.3 of the Business and Professions Code, Section 832.27 of Title 16 of the California Code of Regulations, and Section 6721 of the Food and Agricultural Code.)

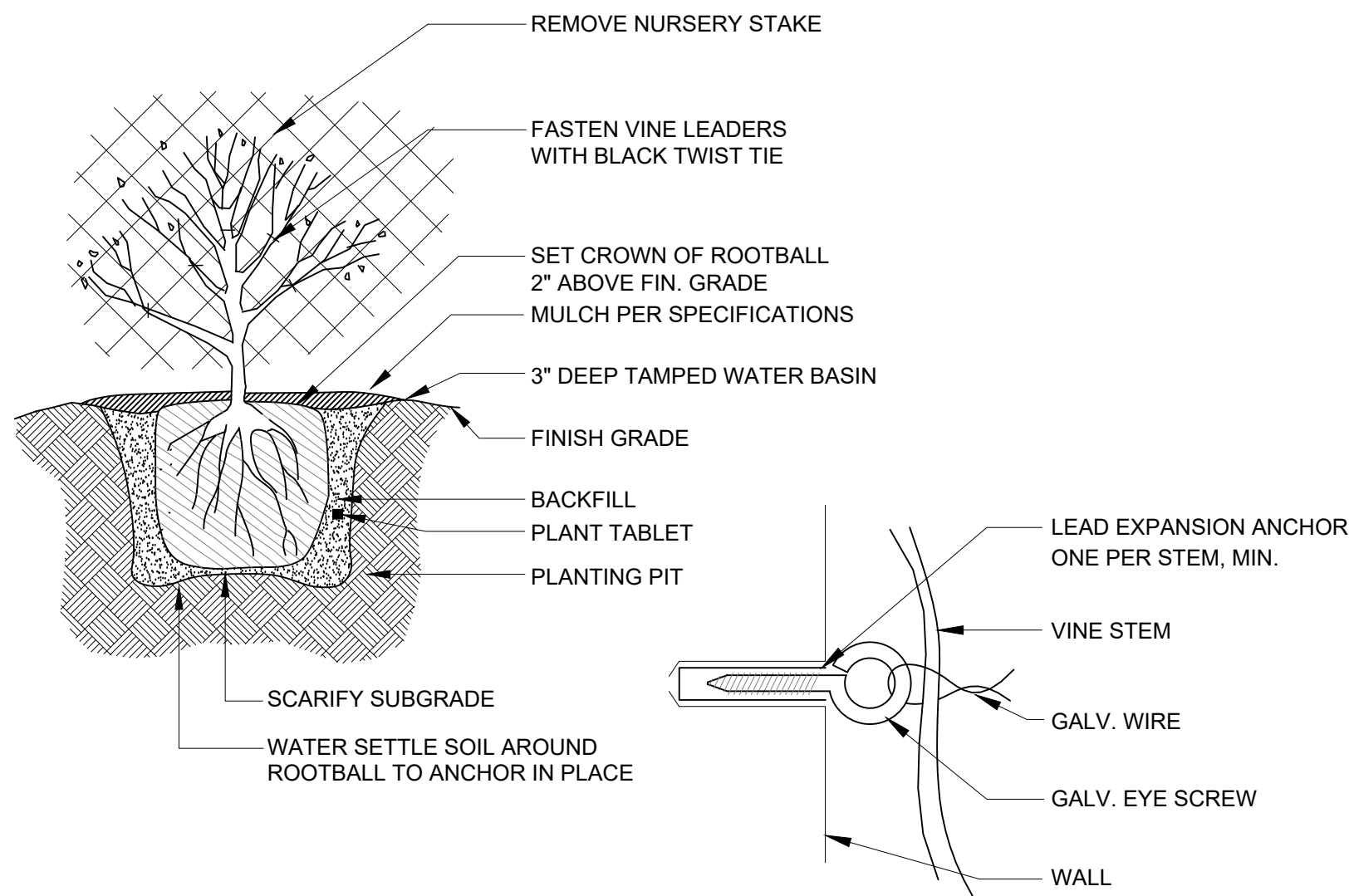
Revised 06-30-2011 Page 2 of 2 www.ladbs.org



NOTE:
ALL GROUNDCOVER SHALL BE PLANTED AT EQUAL SPACING
SEE SPECIFICATIONS FOR FURTHER INFORMATION

SHRUB AND GROUNDCOVER SPACING

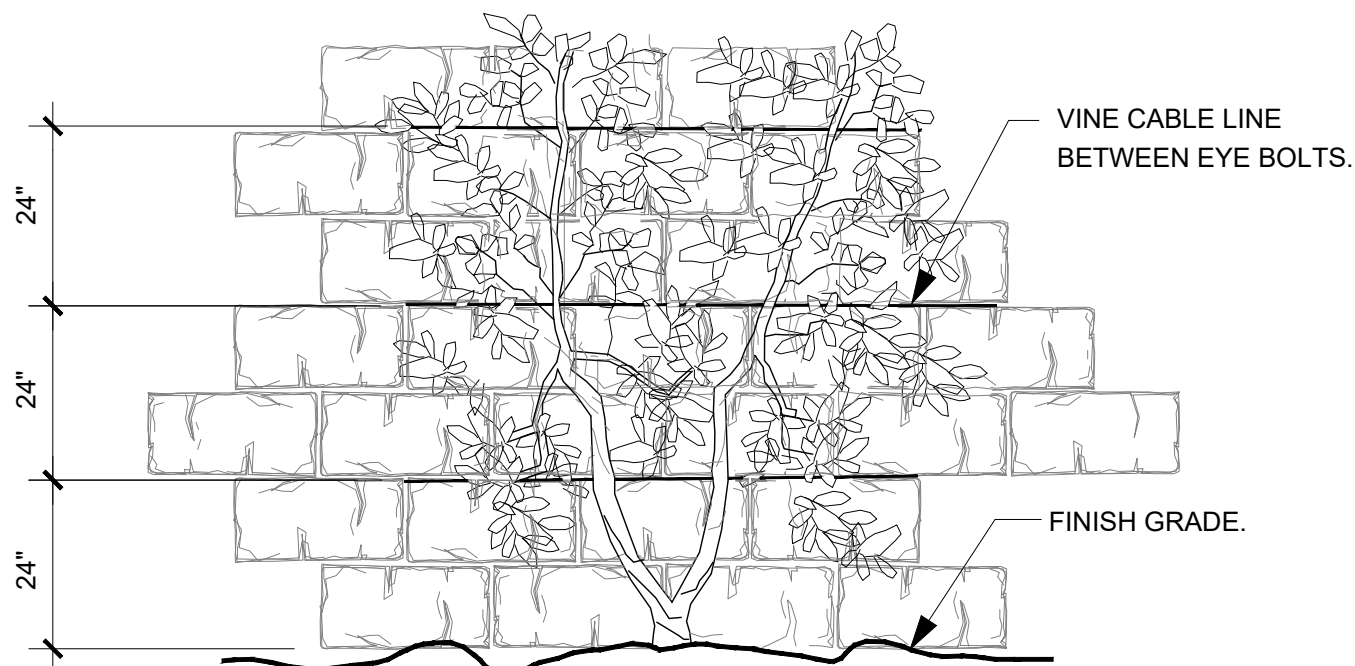
SCALE: N.T.S.



SEE SPECIFICATIONS FOR FURTHER INFORMATION

VINE ON WALL

SCALE: N.T.S.

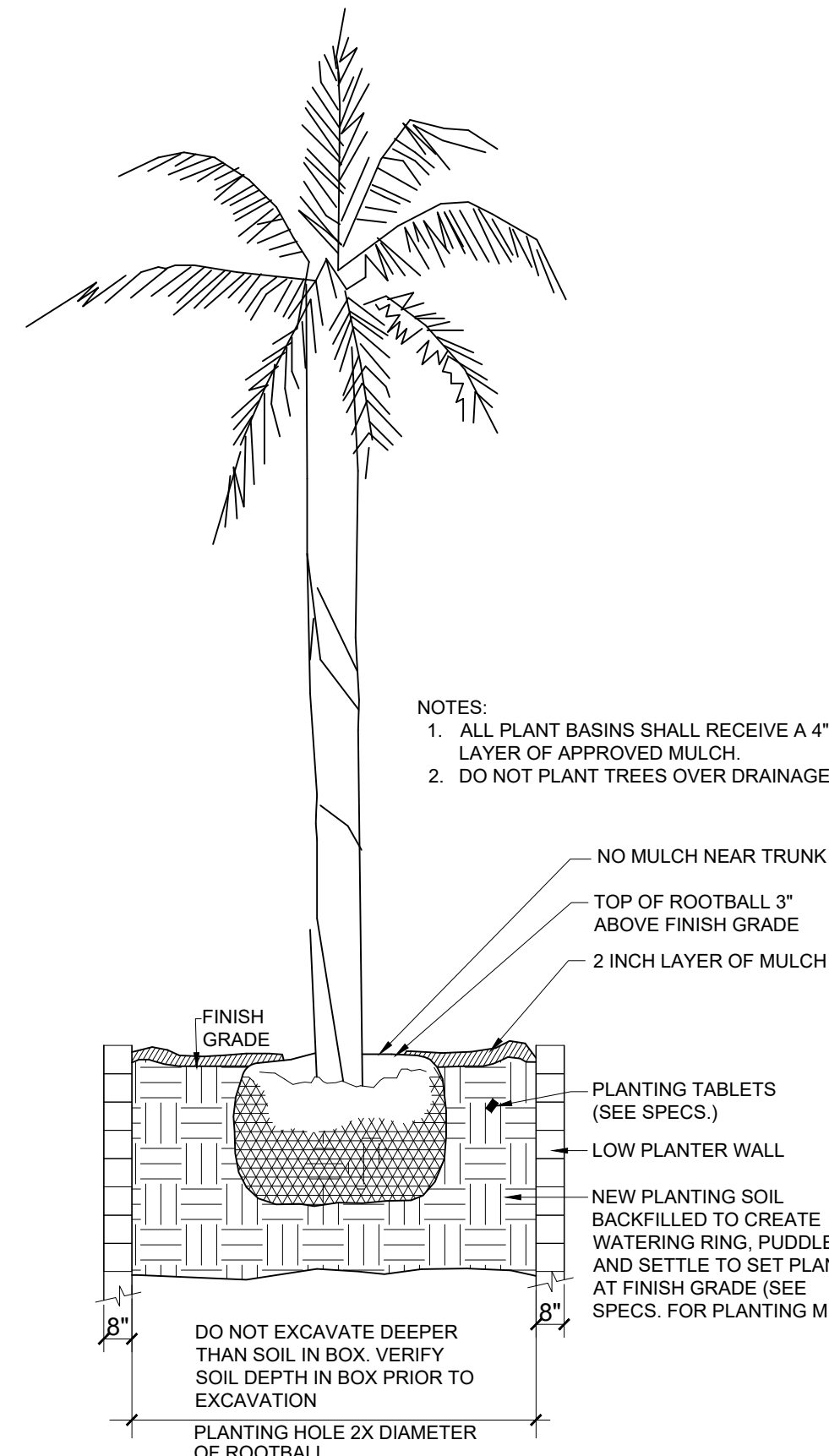


NOTES:

- A. SET VINE AS CLOSE TO SURFACE OF PIT AS POSSIBLE.
- B. ALL VINES SHALL BE TIED TO SUPPORTING WALLS AND FENCING. CONTRACTOR SHALL SECURE VINES TO WALLS AND FENCES WITH PLASTIC NURSERY TAPE.
- C. ESPALIER VINE ONTO WALL/FENCE, TYPICAL.
- D. VINE CABLE SHALL BE STRUNG THROUGH EYE BOLTS AND CRIPEL ONTO ITSELF.

VINE ON WALL - ELEVATION

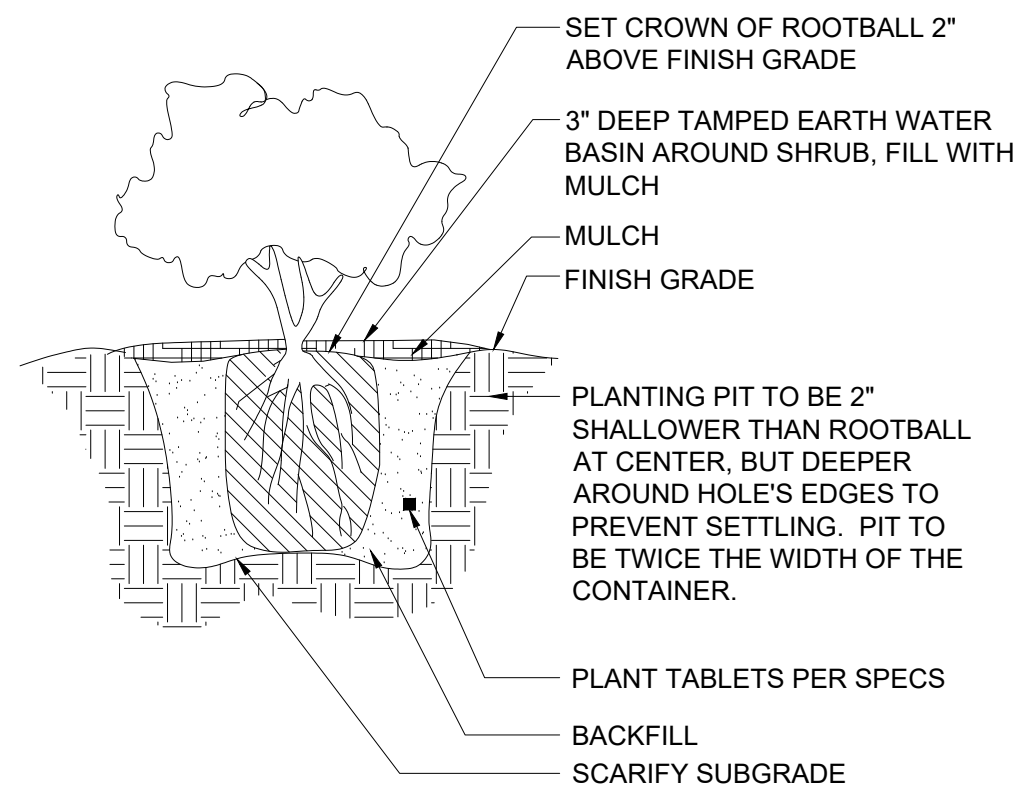
SCALE: N.T.S.



NOTES:
1. ALL PLANT BASINS SHALL RECEIVE A 4" LAYER OF APPROVED MULCH.
2. DO NOT PLANT TREES OVER DRAINAGE

CMU PLANTER - PALMS

SCALE: N.T.S.



SHRUB PLANTING

SCALE: N.T.S.



LANDSCAPE FORMS

12 JULY 2017

PAUL COLEMAN, ARCHITECT

2912 PYRENEES DRIVE, ALHAMBRA CALIFORNIA 91803

213 700 2297

PAUL@LUCCOL.COM

PLAN CHECK SUBMITTAL

23 June, 2016

ZAD SUBMITTAL

24 February, 2017

PLAN CHECK RESUBMITTAL

2 October, 2017

PAUL@LUCCOL.COM

213 700 2297

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12 JULY 2017

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29

A DRIP REMOTE CONTROL VALVE		D WALL MOUNT CONTROLLER	
E REDUCED PRESSURE BACKFLOW		G FLUSH & AIR/VACUUM RELIEF VALVE	
F BASKET STRAINER		H DRIP TUBING INSTALLATION	
I PIPING & WIRING			

PAUL COLEMAN, ARCHITECT 2912 PYRENEES DRIVE, ALHAMBRA CALIFORNIA 91803 213 700 2297

IRRIGATION DETAILS 12 JULY 2017

Hillside Residence
1501 Marlay Drive
Los Angeles, California 90069

PAUL@LUCCOL.COM

P.C. SUBMITTAL 23 June 2016
ZAD SUBMITTAL 24 February 2017
PLAN CHECK RESUBMITTAL 2 October 2017

PLAN CHECK SUBMITTAL
ZAD SUBMITTAL
PLAN CHECK RESUBMITTAL

LEGAL DESCRIPTION

LOT 1, TRACT NO. 12204, M.B. 230
PAGES 40-41

BENCHMARK

EASTERLY INVERT OF SANITARY SEWER
MANHOLE @ STATION 12+37.2 AS SHOWN
ON CITY OF LOS ANGELES SEWER PLAN
AND PROFILE NO. D-15818

ELEV. = 663.34 FLOWLINE INVERT

UNDERGROUND UTILITIES

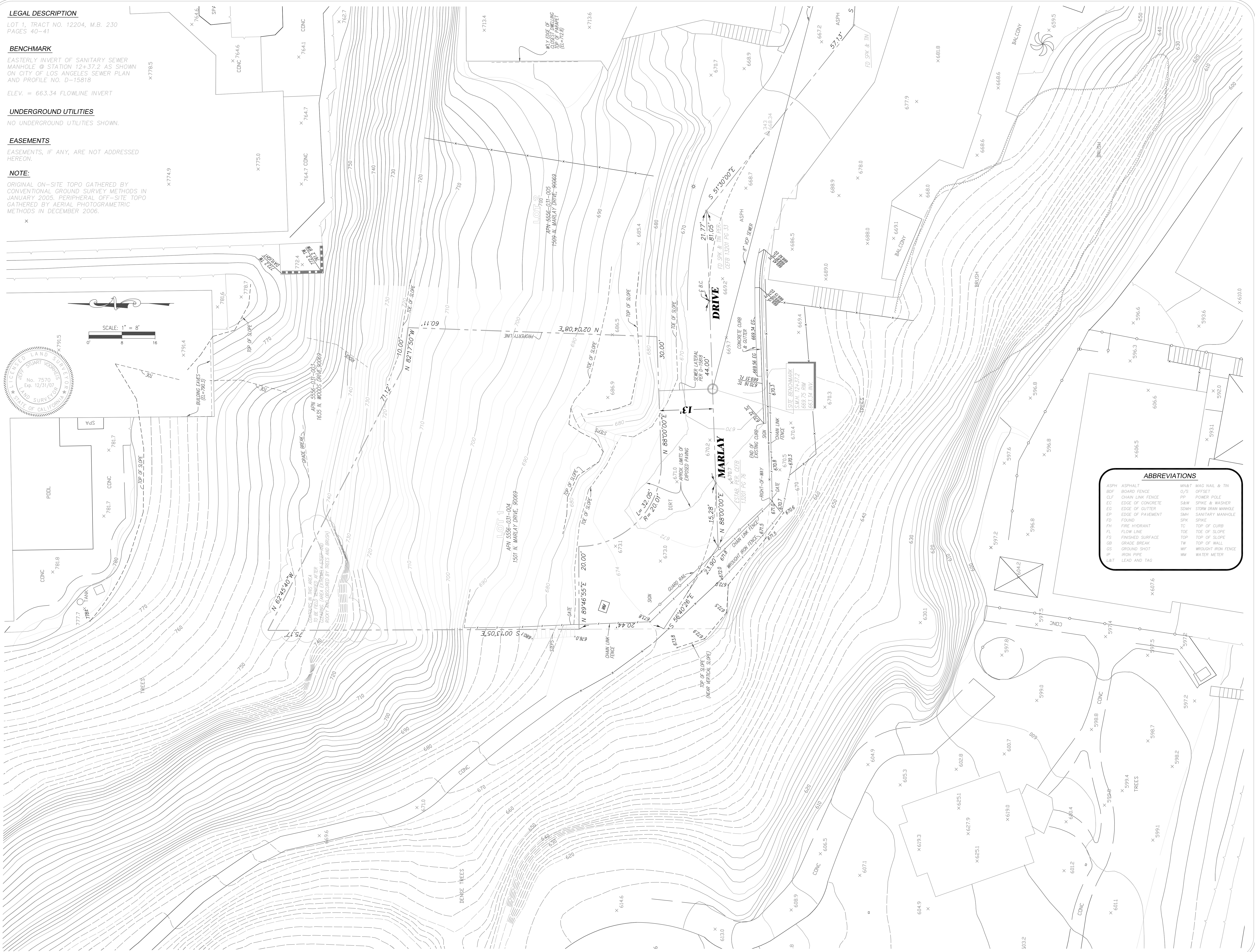
NO UNDERGROUND UTILITIES SHOWN.

EASEMENTS

EASEMENTS, IF ANY, ARE NOT ADDRESSED
HEREON.

NOTE:

ORIGINAL ON-SITE TOPO GATHERED BY
CONVENTIONAL GROUND SURVEY METHODS IN
JANUARY 2005. PERIPHERAL OFF-SITE TOPO
GATHERED BY AERIAL PHOTOGRAMMETRIC
METHODS IN DECEMBER 2006.



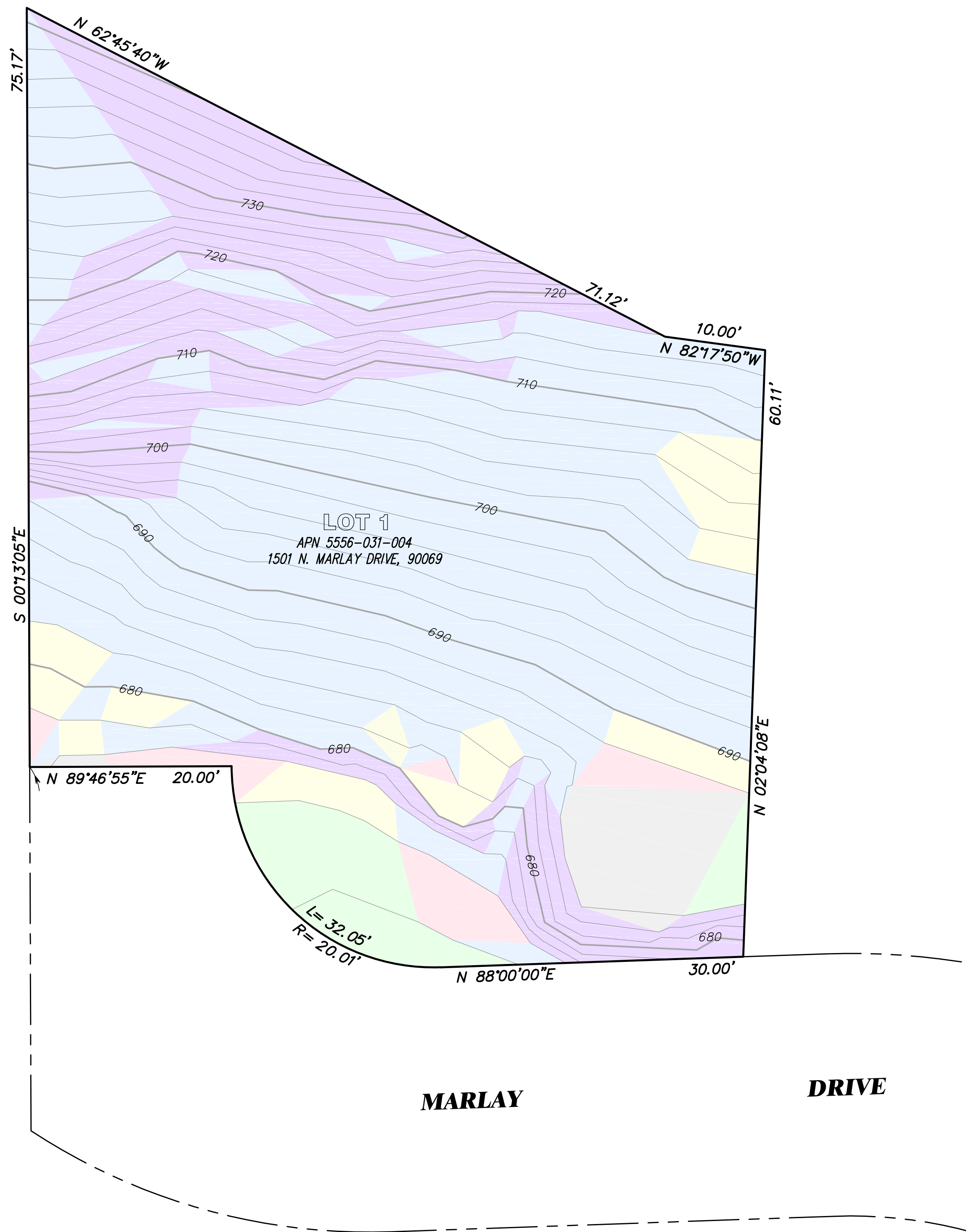
ABBREVIATIONS	
ASPH	ASPHALT
BDF	BOARD FENCE
CLF	CHAIN LINK FENCE
ED	EDGE OF CONCRETE
EG	EDGE OF GUTTER
EP	EDGE OF PAVEMENT
FD	FOUND
PH	FIRE HYDRANT
FL	FLOW LINE
FS	FINISHED SURFACE
GB	GRADE BREAK
GS	GROUND SHOT
IP	IRON PIPE
L&T	LEAD AND TAG
MIN&T	MAG. NAIL & TIN
O/S	OFFSET
PP	POWER POLE
SS&W	SPRINKLER & WASHER
SDMH	STORM DRAIN MANHOLE
SMH	SANITARY MANHOLE
SPK	SPRINKLER
TO	TOP OF CURB
TOE	TOE OF SLOPE
TW	TOP OF WALL
WF	WROUGHT IRON FENCE
WM	WATER METER

REVISIONS:	
DATE	DESCRIPTION
12/14/06	EXPANDED COVERAGE VIA AERIAL TOPO
BY	
M.A.E.	

Client: BOB STECHER
100 SOUTH POINT DRIVE
MIAMI BEACH, FL 33139
Phone/Fax: (305) 531-6151

TOPOGRAPHIC SURVEY
1501 NORTH MARLAY DRIVE
WEST HOLLYWOOD, CA 90069
DATE: 12/13/06 JOB NO. 0501D

VOORHEIS & VOORHEIS, INC.
Professional Land Surveyors
17049 Sunburst Street, Northridge, CA 91325
Phone: (818)-993-5611 Fax: (818)-993-7038
mail@voorheisandvoorheis.com



BIRD'S EYE VIEW FROM SOUTHWEST

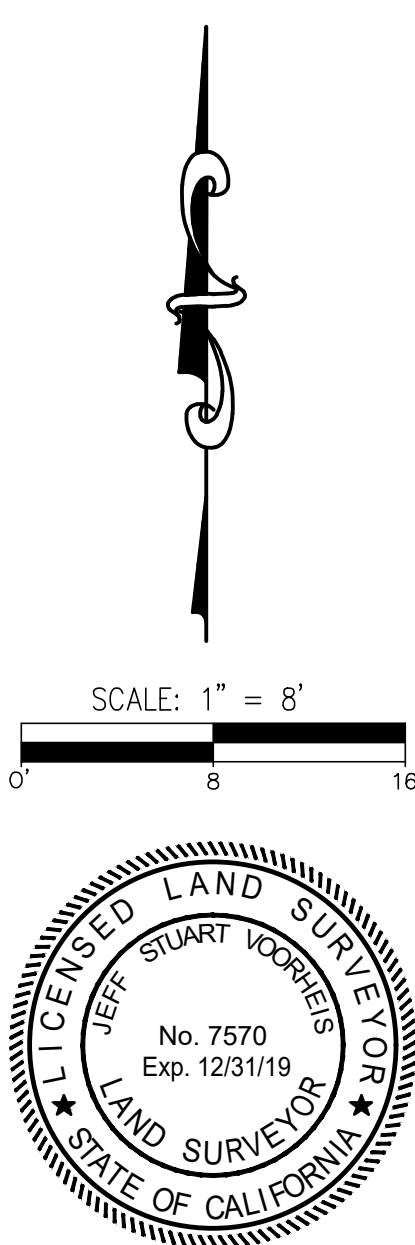
Worksheet 1. Hillside Area Maximum Residential Floor Area Formula					
COLOR	(A) Slope Bands (%)	(B) Lot Area within each slope band (sq-ft). From survey/contour map.	(C) FAR from the zone circled in Table 1 or 2		(D) _{WV} Max. Residential Floor Area allowed within each slope band
	0-14.99	197	X 0.45	=	88.7
	15-29.99	240	X 0.45	=	108.0
	30-44.99	151	X 0.40	=	60.4
	45-59.99	361	X 0.35	=	126.4
	60-99.99	2742	X 0.30	=	822.6
	100 +	1317	X 0.00	=	0.0
Maximum Residential Floor Area =					1,206.1

Table 1 Single - Family Zone Hillside Area Residential Floor Area Ratios (RFAR)								
Slope Bands (%)	RI	RS	RE9	RE11	RE15	RE20	RE40	RA
0-14.99	0.45	0.45	0.40	0.40	0.35	0.35	0.35	0.25
15-29.99	0.45	0.40	0.35	0.35	0.30	0.30	0.30	0.20
30-44.99	0.40	0.35	0.30	0.30	0.25	0.25	0.25	0.15
45-59.99	0.35	0.30	0.25	0.25	0.20	0.20	0.20	0.10
60-99.99	0.30	0.25	0.20	0.20	0.15	0.15	0.15	0.05
100 +	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Table 2 Single - Family Zone Hillside Area Residential Floor Area Ratios (RFAR)				
Slope Bands (%)	RIH1	RIH2	RIH3	RIH4
0-14.99	0.65	0.55	0.45	0.40
15-29.99	0.60	0.50	0.45	0.35
30-44.99	0.55	0.45	0.40	0.30
45-59.99	0.50	0.40	0.35	0.25
60-99.99	0.45	0.35	0.30	0.20
100 +	0.00	0.00	0.00	0.00



VICINITY MAP
NOT TO SCALE



LEGAL DESCRIPTION

LOT 1
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APN 5556-031-004

ZONING

R1-1 (LOW II RESIDENTIAL)
(HILLSIDE AREA)

AREA

5,008 SQ. FT.
0.115 ACRES

REVISIONS:			
DATE	BY	DESCRIPTION	
3/28/18	M.E.	REVISED SLOPE BAND PER ZI NO.2462 3/17/17 (NO FIELD OBSERVATION WAS PERFORMED)	

Client: **ROBERT STECHER**
C/O SARA SCHUSTEROW
9220 KINGLET DRIVE
LOS ANGELES, CA 90069
Phone:

SLOPE ANALYSIS MAP
1501 NORTH MARLAY DRIVE
WEST HOLLYWOOD, CA 90069
DATE: 05/09/13 JOB NO. 0501D

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