

PROJECT ADDRESS
9230 NIGHTINGALE DRIVE
LOS ANGELES, CA 90069

PROJECT DESCRIPTION:
1 STORY SINGLE FAMILY RESIDENCE WITH BASEMENT AND ATTACHED GARAGE.

LOT: 81
TRACT: TR 23753
ASSESSOR'S PARCEL NUMBER: 5561007027
LEGAL DESCRIPTION: LOT 81 OF TRACT 23753 AS PER MAP RECORDED IN MAP SHEET 1508169 PAGE 592 GRID H4 IN THE OFFICE OF THE COUNTY RECORDER IN SAID COUNTY.

ZONE: RE15-1-H
VHFHSZ: YES
BASELINE HILLSIDE ORDINANCE: YES

HEIGHT LIMIT: 30' - 0"
PROPOSED HEIGHT: 30' - 0"

LOT SIZE: 24,983 SF

CONSTRUCTION TYPE: V-B

BEDROOM: 7
REQUIRED PARKING: 2 PARKING STALLS
PROVIDED PARKING: 4 PARKING STALLS

SPRINKLERS: YES - RESIDENCE SHALL BE CONSTRUCTED WITH AN APPROVED FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA-13D. FIRE SPRINKLERS TO BE APPROVED BY THE PLUMBING DIVISION PRIOR TO INSTALLATION.

SETBACKS:	REQUIRED	PROVIDED
FRONT YARD:	17' - 6 1/2"	20' - 0"
REAR YARD:	15' - 0"	56' - 0"
SIDE YARD (EAST):	7' - 0"	7' - 0"
SIDE YARD (WEST):	7' - 0"	8' - 0"

SUPPLEMENTAL WALLS AND FENCES:

FRONT YARD:

A. (1) CONCRETE WALL WITH HOUSE NUMBERS
 . SIZE = 11' - 6 1/2" (LENGTH) X 3' - 0" (HEIGHT)
 . FINISH = PLASTER FINISH - WHITE

B. (1) CONTINUOUS STEEL FENCE (OPEN SLATS)
 . SIZE = 186" x 12" (LENGTH) X 5' - 0" (HEIGHT)
 . FINISH - PAINT - DARK GREY

RESIDENTIAL FLOOR AREA (RFA) CALCULATION:

MAXIMUM ALLOWABLE RFA PER SLOPE BAND ANALYSIS = 6,607 SF

LEVEL 0 - BASEMENT
NET AREA = 5,241 SF (INT. RESIDENTIAL AREA) + 754 SF (COVERED EXTERIOR) + 564 SF (STAIR AND CAR LIFT) = 6,559 SF

EXEMPTIONS = 6,559 SF (BASEMENT DEFINITION)

TOTAL RFA LEVEL 0 = NET AREA - EXEMPTIONS = 6,559 SF - 6,559 SF = 0 SF

LEVEL 1 - GROUND FLOOR
NET AREA = 3,935 SF (INT. RESIDENTIAL AREA) + 1,056 SF (GARAGE) + 1,281 SF (COVERED EXTERIOR) + 290 SF (STAIRS) + 512 SF (LATTICE ROOF COVER) = 7,074 SF

EXEMPTIONS = 400 SF (GARAGE EXEMPTION) + 512 SF (LATTICE ROOF COVER > 50% OPEN) = 912 SF

TOTAL RFA LEVEL 1 = NET AREA - EXEMPTIONS = 7,074 SF - 912 SF = 6,162 SF

TOTAL PROPOSED RFA = TOTAL RFA LEVEL 0 + TOTAL RFA LEVEL 1 = 0 SF + 6,162 SF = 6,162 SF

6,162 SF TOTAL PROPOSED RFA < 6,607 SF ALLOWABLE
CURRENT RFA COMPLIES (445 SF UNDER MAXIMUM RFA)

BASEMENT PERIMETER CALCULATION:

TOTAL PERIMETER = BASEMENT + EXPOSED = 291' - 11 1/2" + 126' - 9" = 418' - 8 1/2"

BASEMENT WALL RATIO = BASEMENT / TOTAL PERIMETER = 291' - 11 1/2" / 418' - 8 1/2" = 68.76%

68.76% > 60% MIN. REQUIRED

LOT COVERAGE CALCULATION:

LOT COVERAGE PROVIDED = RESIDENCE + TERRACE/POOL = 8,022 SF + 1,017 SF = 9,039 SF

ALLOWABLE LOT COVERAGE = 40% OF TOTAL LOT AREA = 24,983 SF X 40% = 9,993.2 SF

9,039 SF (98%) TOTAL PROPOSED LOT COVERAGE < 9,993.2 SF ALLOWABLE
CURRENT LOT COVERAGE COMPLIES

LAUSD ASSESSABLE AREA CALCULATION (HABITABLE AREA):

GARAGE = 1,162 SF (GROSS)
 LEVEL 0 = 6,279 SF (GROSS)
 LEVEL 1 = 5,459 SF (GROSS)

TOTAL (WITHOUT GARAGE) = 11,738 SF (GROSS)

TOTAL (WITH GARAGE) = 12,900 SF (GROSS)

BUILDING CODE R3 AND U OCCUPANCY:

R3 OCCUPANCY: LEVEL 0: 5,805 SF (INTERIOR) + 754 (COVERED EXTERIOR)
 LEVEL 1: 4,225 SF + 1,793 (COVERED EXTERIOR)

TOTAL = 12,577 SF

U OCCUPANCY: GARAGE: 1,056 SF
 TOTAL = 1,056 SF

APPLICABLE CODES:

2017 CBC/IRC
 CITY OF LOS ANGELES
 2017 ENERGY EFFICIENCY STANDARDS
 2017 CITY OF LOS ANGELES GREEN BUILDING

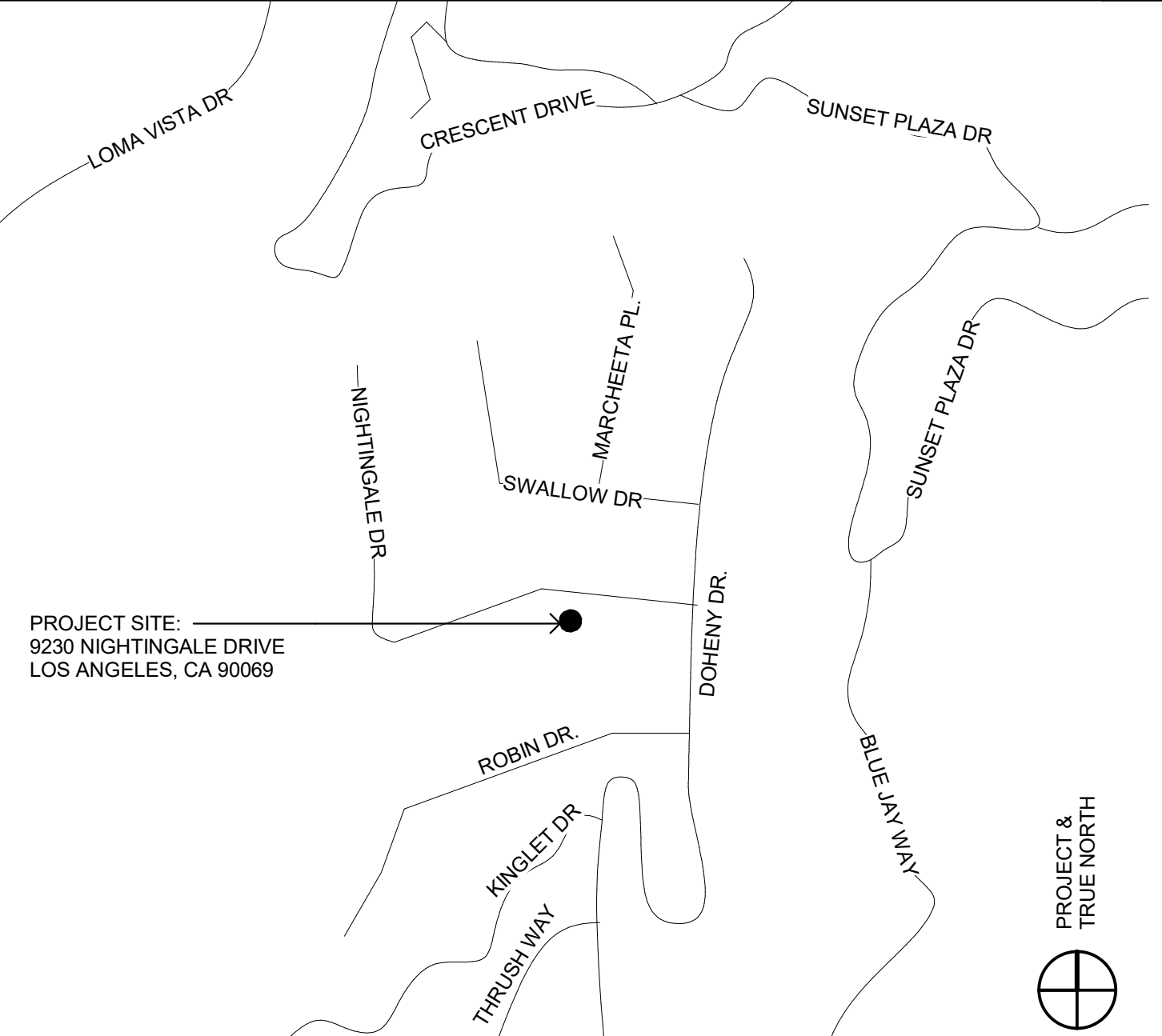
ARCHITECTURAL

A0.01	TITLE SHEET
A0.11	DOOR SCHEDULE - EXTERIOR
A0.13	DOOR SCHEDULE - INTERIOR
A0.14	WINDOW SCHEDULE
A0.31	PLUMBING FIXTURES AND APPLIANCES
A0.33	FINISH SPECIFICATIONS
A0.34	WATERPROOFING SPECIFICATIONS
A0.40	TOPOGRAPHIC SURVEY
A0.41	SLOPE BAND ANALYSIS
A0.50	AGENCY DIAGRAMS
A0.52	AGENCY DIAGRAMS
A0.60	AGENCY FORMS/NOTES
A0.61	AGENCY FORMS
A0.61B	AGENCY FORMS
A0.62	GREEN BUILDING NOTES AND COMPLIANCE
A0.64	PRODUCT CERTIFICATION
T24-01	TITLE 24
T24-02	TITLE 24
A0.70	HORIZONTAL ASSEMBLIES
A0.71	HORIZONTAL ASSEMBLIES
A0.72	VERTICAL ASSEMBLIES
A0.81	DEMOLITION SITE PLAN
A1.01	OVERALL SITE PLAN
A1.10	FRONT FENCE ELEVATIONS
A1.51	SITE SECTIONS
A2.20	FLOOR PLAN - LEVEL 0 - BASEMENT
A2.21	FLOOR PLAN - LEVEL 1 - ENTRY
A2.22	ROOF PLAN
A2.50	FINISH FLOOR PLAN - LEVEL 0 - BASEMENT
A2.51	FINISH FLOOR PLAN - LEVEL 1 - ENTRY
A2.91	CUSTOM ENTRY TRELLIS - PORTE COCHERE
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A3.03	EXTERIOR ELEVATIONS - ATRIUM
A4.01	BUILDING SECTIONS - LONGITUDINAL
A4.02	BUILDING SECTIONS - LONGITUDINAL
A4.03	BUILDING SECTIONS - CROSS
A4.04	BUILDING SECTIONS - CROSS
A4.11	ENLARGED SECTIONS - FOUNDATION
A4.12	ENLARGED SECTIONS - FOUNDATION
A4.21	ENLARGED SECTIONS - PODIUM SLAB
A4.22	ENLARGED SECTIONS - PODIUM SLAB
A4.31	ENLARGED SECTIONS - FRAMING
A5.24	ENTRY LOUVER PLANS AND DETAILS
A8.01	VERTICAL CIRCULATION - STAIRS
A8.02	VERTICAL CIRCULATION - STAIRS
A8.10	VERTICAL CIRCULATION - CAR LIFT
A8.11	VERTICAL CIRCULATION - DETAILS
A9.00	DETAILS
A9.01	DETAILS

STRUCTURAL

S0.01	GENERAL NOTES
S0.02	GENERAL NOTES
S1.01	TYPICAL DETAILS
S1.02	TYPICAL DETAILS
S1.03	TYPICAL DETAILS
S1.04	TYPICAL DETAILS
S1.11	TYPICAL DETAILS
S1.12	TYPICAL DETAILS
S1.21	TYPICAL DETAILS
S1.22	TYPICAL DETAILS
S1.23	TYPICAL DETAILS
S1.24	TYPICAL DETAILS
S1.25	TYPICAL DETAILS
S1.26	TYPICAL DETAILS
S1.31	TYPICAL DETAILS
S1.32	TYPICAL DETAILS
S2.00	BASEMENT / FOUNDATION PLAN
S2.01	FIRST FLOOR FRAMING PLAN
S2.01A	FIRST FLOOR ADD REBAR PLAN - NORTH/SOUTH
S2.01B	FIRST FLOOR ADD REBAR PLAN - EAST/WEST
S2.02	ROOF FRAMING PLAN
S2.02A	ROOF ADD REBAR PLAN - NORTH/SOUTH AND EAST/WEST
S3.01	TYPICAL CONCRETE COLUMNS, SECTIONS, DETAILS AND SCHEDULES
S3.11	TYPICAL CONCRETE SLAB SECTIONS & DETAILS
S3.21	TYPICAL CONCRETE BEAM SECTIONS, DETAILS & SCHEDULES
S3.22	TYPICAL CONCRETE BEAM SECTIONS & DETAILS
S3.31	SECTIONS & DETAILS
S4.01	TYPICAL CONCRETE SLAB SECTIONS & DETAILS
S4.02	TYPICAL CONCRETE SLAB SECTIONS & DETAILS
S4.03	TYPICAL CONCRETE SLAB SECTIONS & DETAILS
S4.11	TYPICAL CONCRETE WALL SECTIONS & DETAILS
S4.12	TYPICAL CONCRETE WALL SECTIONS & DETAILS
S4.13	TYPICAL CONCRETE WALL SECTIONS & DETAILS
S5.01	SECTIONS & DETAILS
S5.02	SECTIONS & DETAILS
S5.11	SECTIONS & DETAILS
SHORING	
SH-1	SHORING PLAN
SH-2	GENERAL NOTES, DESIGN CRITERIA AND SCHEDULE
SH-3	TYPICAL DETAILS
SH-4	ELEVATIONS
SH-5	SECTIONS
CIVIL	
C000	TITLE SHEET
C100	EROSION CONTROL PLAN
C200	ROUGH GRADING PLAN
C210	GRADING PLAN
C220	GRADING SECTIONS
C230	CUT/FILL EXHIBIT
C300	LID PLAN
C310	LID DETAILS
LANDSCAPE	
L0.0	TITLE
L4.0	PLANTING PLAN
L4.1	PLANTING PLAN - BASEMENT LEVEL
L4.2	PLANTING DETAILS
L4.3	PLANTING SPECIFICATIONS
L5.0	IRRIGATION PLAN
L5.1	IRRIGATION PLAN BASEMENT LEVEL
L5.2	HYDROZONE PLAN
L5.3	HYDROZONE PLAN - BASEMENT LEVEL
L5.4	IRRIGATION NOTES
L5.5	IRRIGATION DETAILS
L5.6	IRRIGATION DETAILS

PROJECT INFORMATION 20



OWNER: PASCAL MOUAWAD
1518 BEL AIR ROAD
LOS ANGELES, CA 90017
PASCAL@MOUAWAD.COM

EXECUTIVE ARCHITECT: WOODS+DANGARAN
5835 ADAMS BLVD
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323.272.3329
WWW.WOODSDANGARAN.COM

DESIGN ARCHITECT: SAOTA
109 HATFIELD STREET GARDENS
CAPE TOWN, SOUTH AFRICA 801
+27 21 468 4400
WWW.SAOTA.COM

PERMIT CONSULTANT: CREST REAL ESTATE
11150 W. OLYMPIC BLVD
SUITE 700
LOS ANGELES, CA 90064
310.633.1555

MANAGEMENT COMPANY: PLUS DEVELOPMENT
8920 W. SUNSET BLVD. #200 A
LOS ANGELES, CA 90069
424.274.3881

STRUCTURAL ENGINEER: JOHN LABIB + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
213.239.9700

MEP ENGINEER: GREEN MEP ENGINEERING CONSULTING, INC.
3 MACARTHUR PLACE, 8TH FLOOR
SANTA ANA, CA 92707
949.232.1919

LANDSCAPE ARCHITECT: CHRIS SOSA LANDSCAPE ARCHITECTURE, INC.
8581 SANTA MONICA BLVD #225
WEST HOLLYWOOD, CA 90069
415.310.5770

CIVIL ENGINEER: JOHN LABIB + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
213.239.9700

SURVEYOR: GEORGE BARAJAS
GM SURVEYING

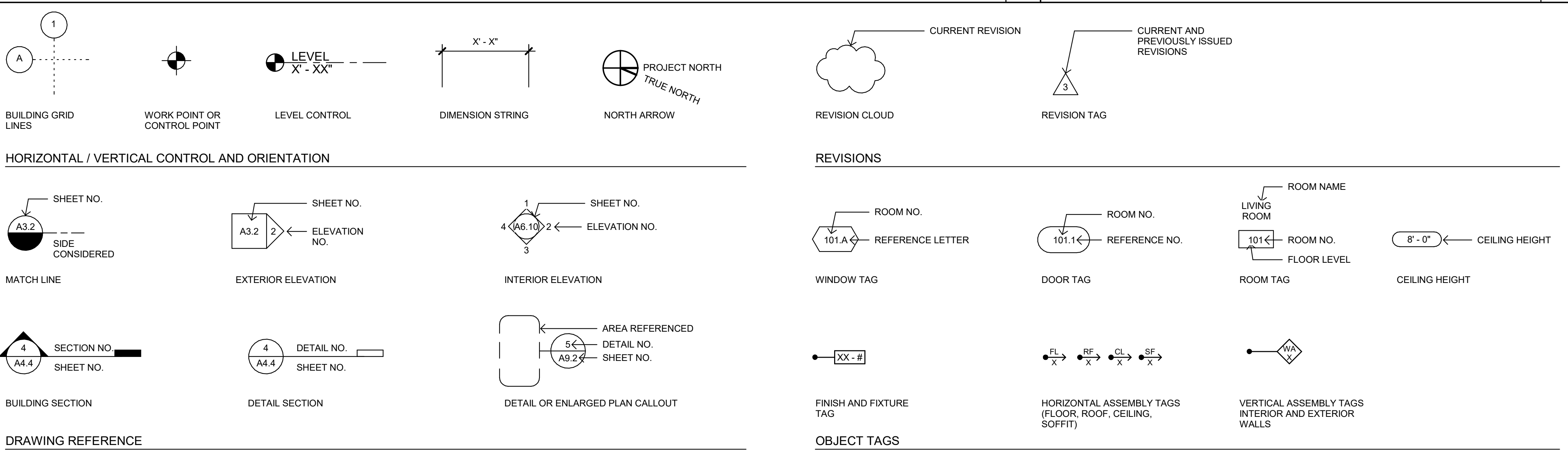
POOL CONSULTANT: H2O DESIGN LLC
1831 WHITLEY AVE #6
LOS ANGELES, CA 90028
714.483.4940

SOILS ENGINEER: IRVINE GEOTECHNICAL, INC.
145 N SIERRA MADRE BLVD
SUITE #1
PASADENA, CA 91107
626.844.6641

LIGHTING CONSULTANT: KMG ARCHITECTURAL LIGHTING
270 CORAL CIRCLE
EL SEGUNDO, CA 90245
310.552.2191

PROJECT DIRECTORY 15

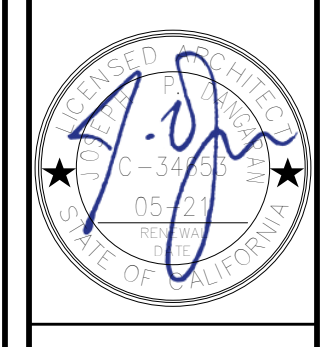
VICINITY MAP NO SCALE 11



SYMBOLS 12

SHEET INDEX 4

WOODS+DANGARAN
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5099 PICO BLVD
LOS ANGELES
CALIFORNIA
90019

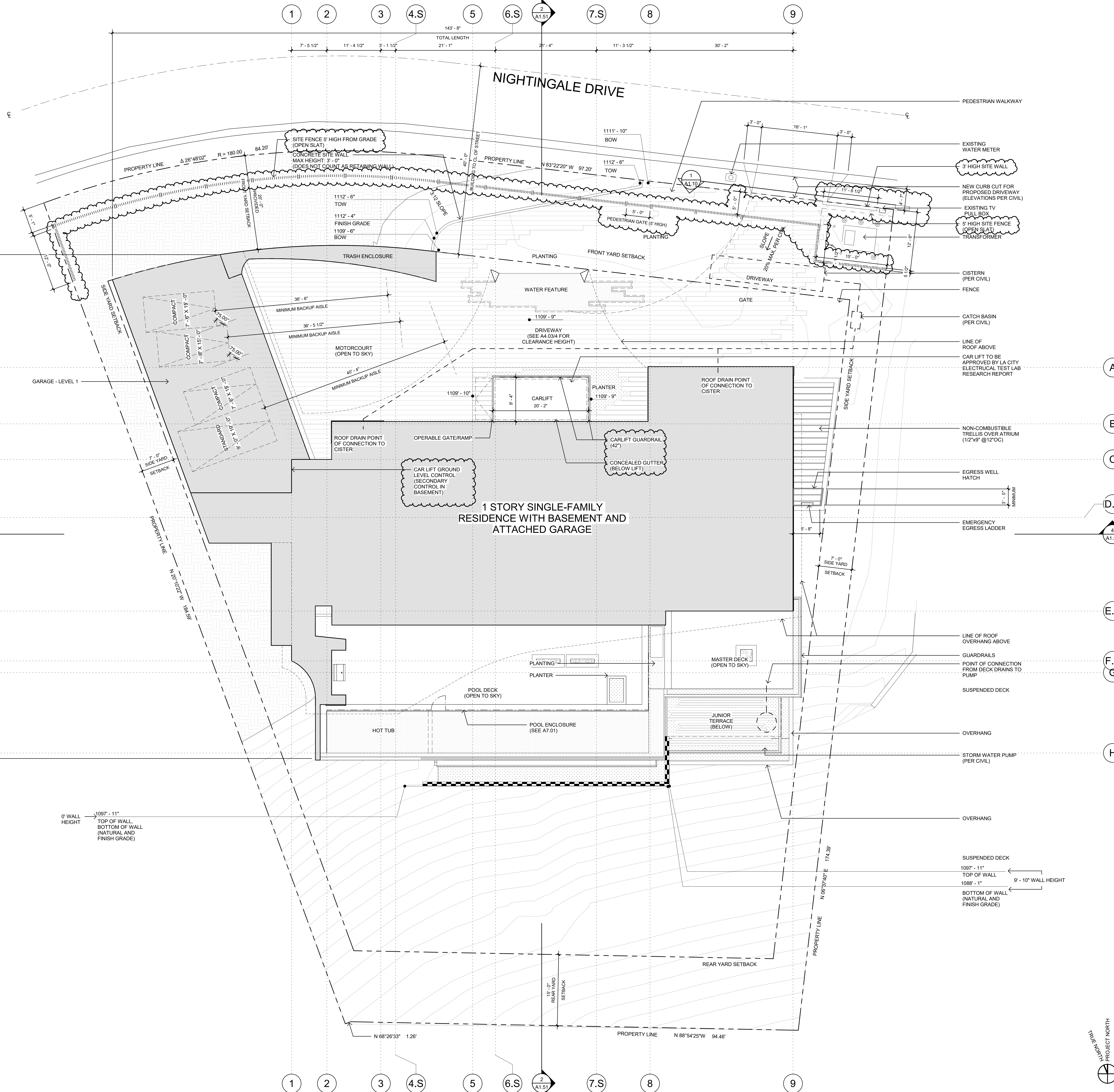
SAOTA
DESIGN ARCHITECT

085.17
NIGHTINGALE RESIDENCE
LOS ANGELES, 90069
9230 NIGHTINGALE DR

07/31/2018
07/10/2019
10/07/2020

TITLE SHEET

A0.01



1. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
2. DO NOT SCALE FROM DRAWINGS.
3. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED PRIOR TO THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING.
5. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
6. PROVIDE 1.6 GALLONS OF WATER PER FLUSH TOILETS.
7. WATER HEATERS ARE TO BE STRAPPED OR HAVE A RIGID CONNECTION TO AN ADJACENT WALL. (SEC 507.3, UPC)
8. PROVIDE R-12 EXTERIOR BLANKET FOR HOT WATER HEATER. R-3 INSULATION SHALL BE PROVIDED FOR THE FIRST FIVE FEET OF THE WATER HEATER OUTLET PIPE. ALL WATER HEATING AND SPACE CONDITIONING EQUIPMENT, SHOWER HEADS AND FAUCETS SHALL BE C.E.C. CERTIFIED. ALL STEAM AND STEAM CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY RECIRCULATING DOMESTIC HEATING OR HOT WATER PIPING SHALL BE INSULATED PER PLUMBING DIVISION.
9. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
10. AN APPROVED SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
11. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
12. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
13. CONTRACTOR TO PROVIDE TEMPORARY POWER POLE AND METER FOR THE DURATION OF THE WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF THE WORK. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.

NOTES - FLOOR PLAN
NO SCALE 3

	MASONRY WALL
	CONCRETE SITE WALL
	CONCRETE RETAINING WALL
	EXTERIOR PAVING
	PROPERTY LINE
	SETBACK
	EASEMENT
	EDGE OF LEVEL PAD
	FENCE
	GAS BIB
	HOSE BIB
	EXISTING TREE TO REMAIN

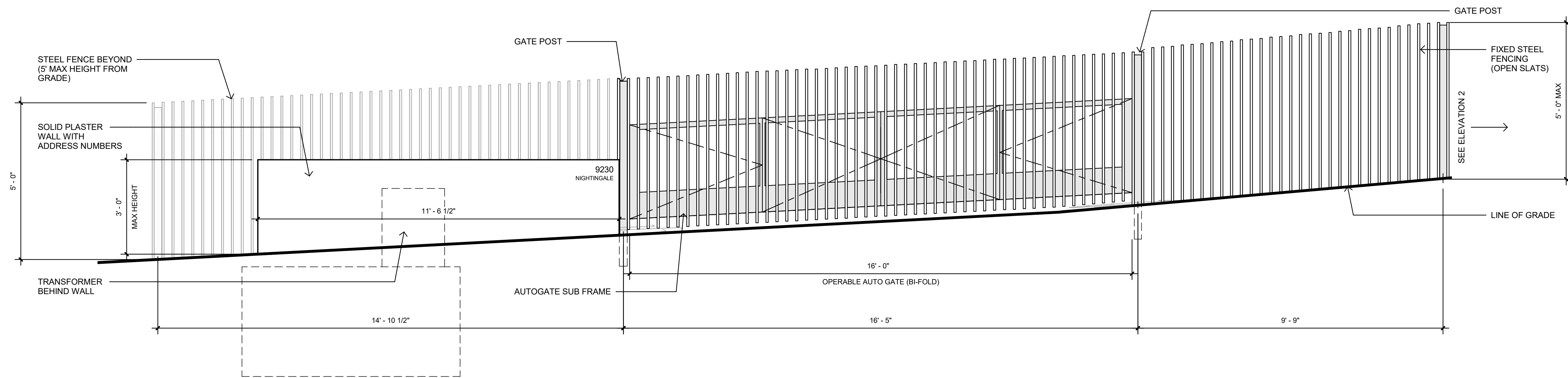
LEGEND - FLOOR PLAN
NO SCALE 4

OVERALL SITE PLAN
1/8" = 1'-0" 8

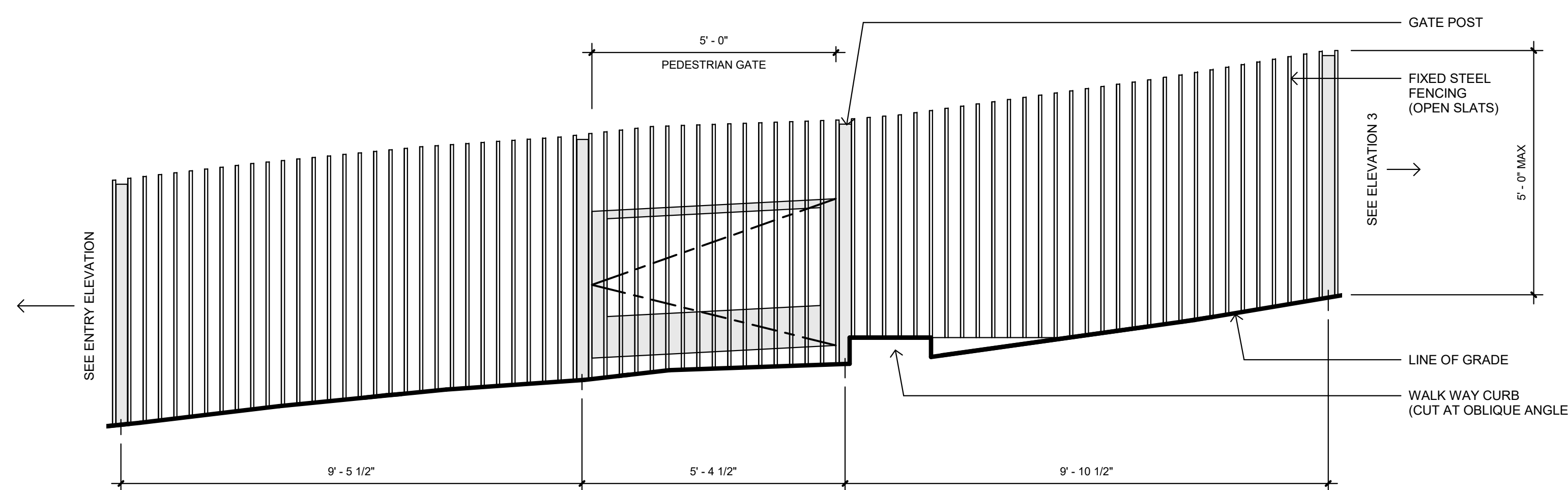


5059 PICO BLVD
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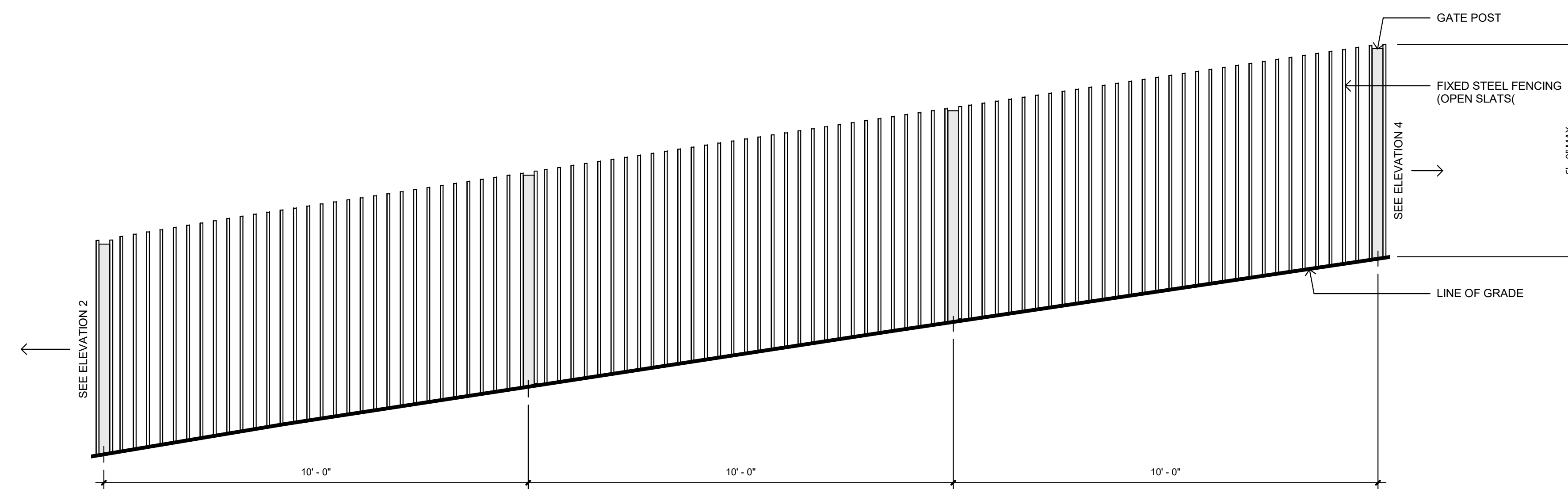
07/31/2018
07/10/2019
10/07/2020



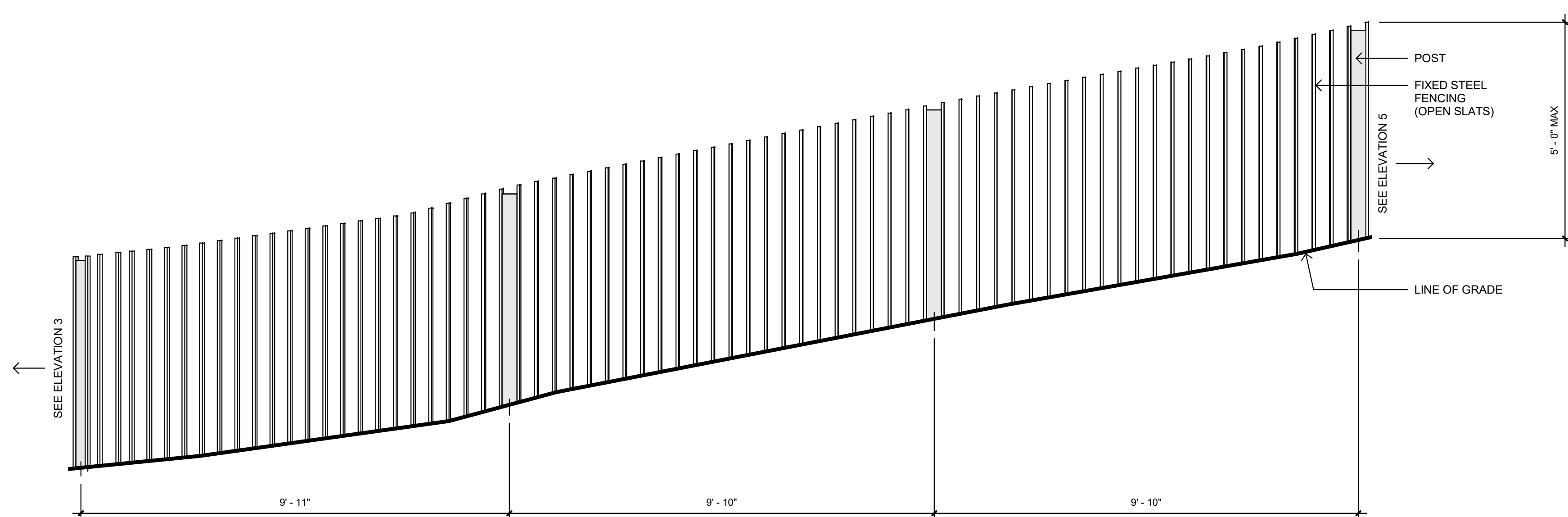
ENTRY AND FRONT GATE ELEVATION
1/2" = 1'-0" 1



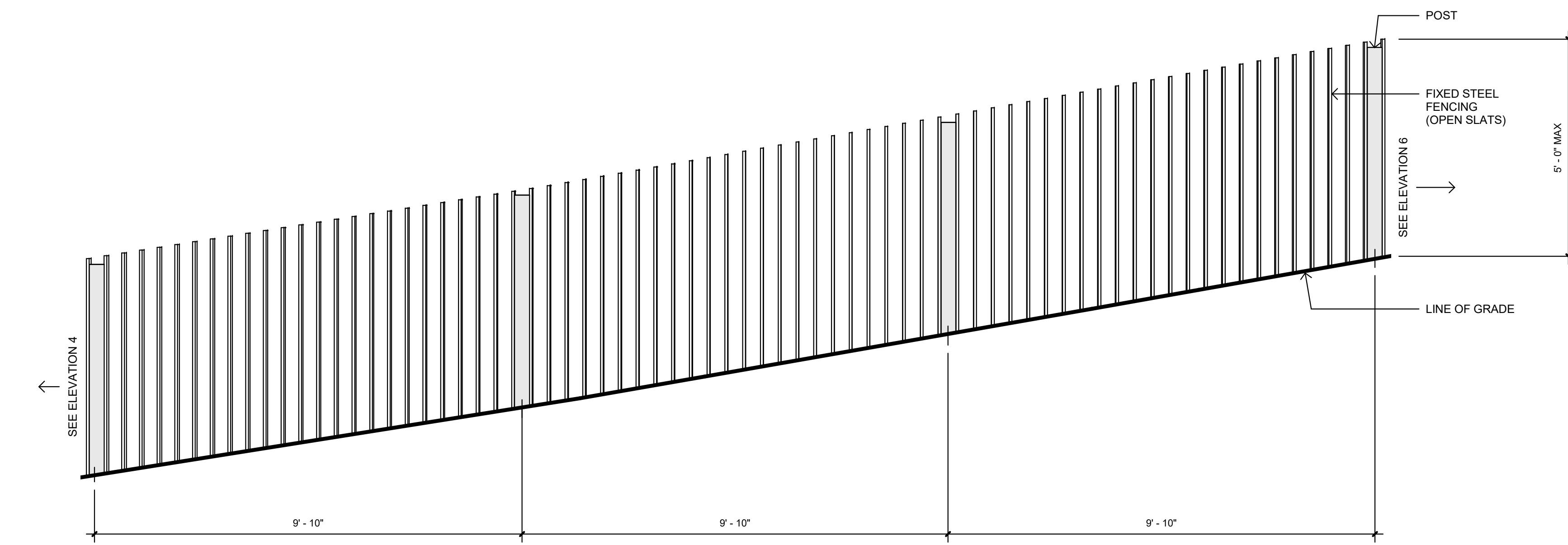
FRONT FENCE ELEVATION - 2
1/2" = 1'-0" 2



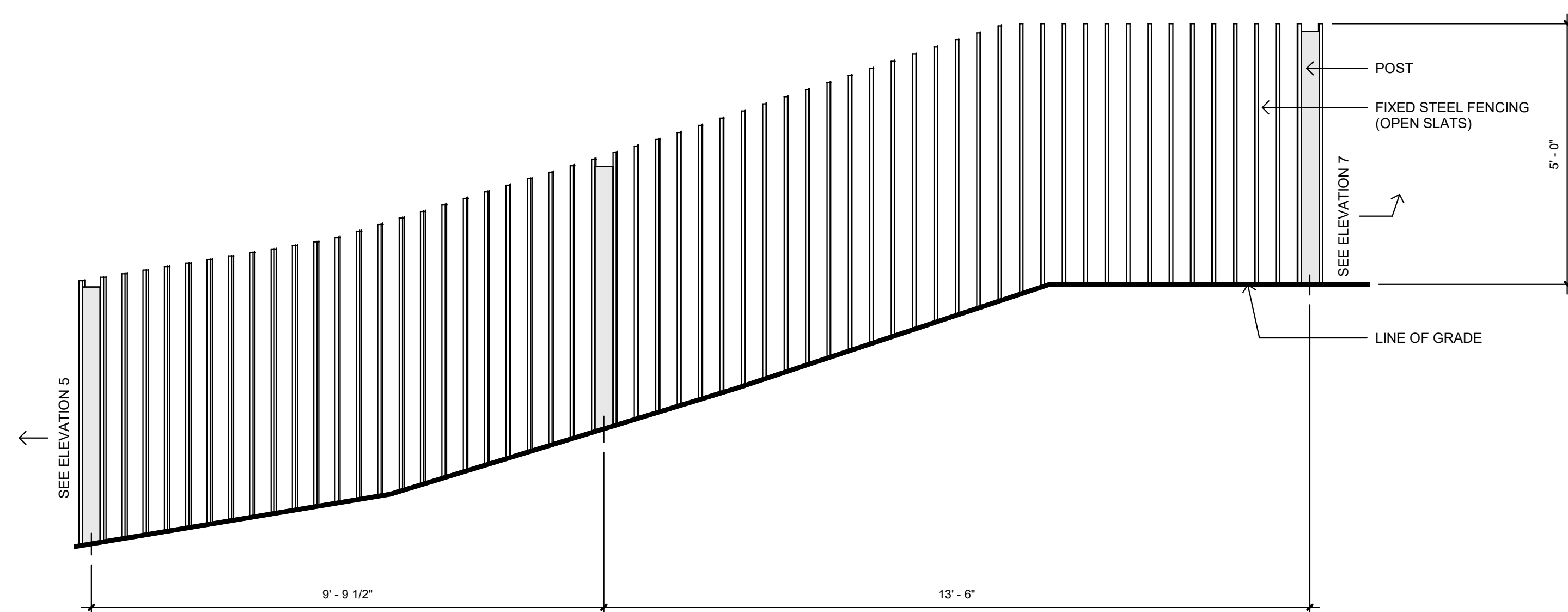
FRONT FENCE ELEVATION - 3
1/2" = 1'-0" 3



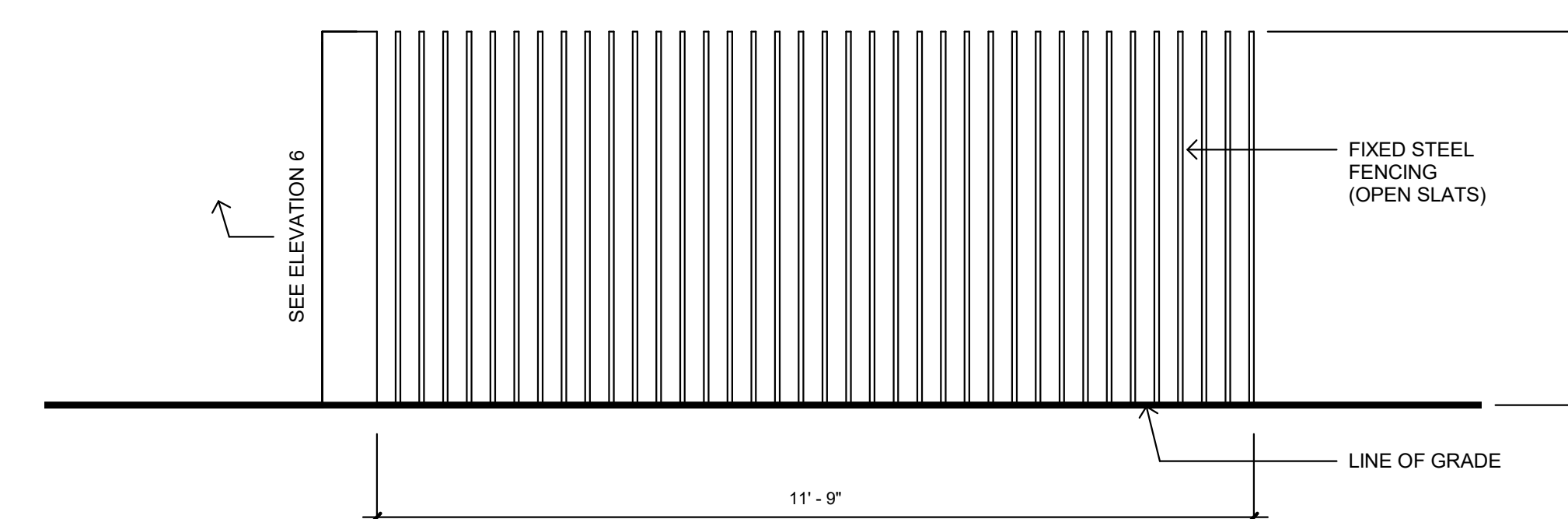
FRONT FENCE ELEVATION - 4
1/2" = 1'-0" 4



FRONT FENCE ELEVATION - 5
1/2" = 1'-0" 5



FRONT FENCE ELEVATION - 6
1/2" = 1'-0" 6



SIDE YARD FENCE ELEVATION - 7
1/2" = 1'-0" 7

