

1001 N BEL AIR RD

ZAD REQUEST IN CONJUNCTION WITH A NEW SFD

BEL AIR BEVERLY CREST NEIGHBORHOOD COUNCIL

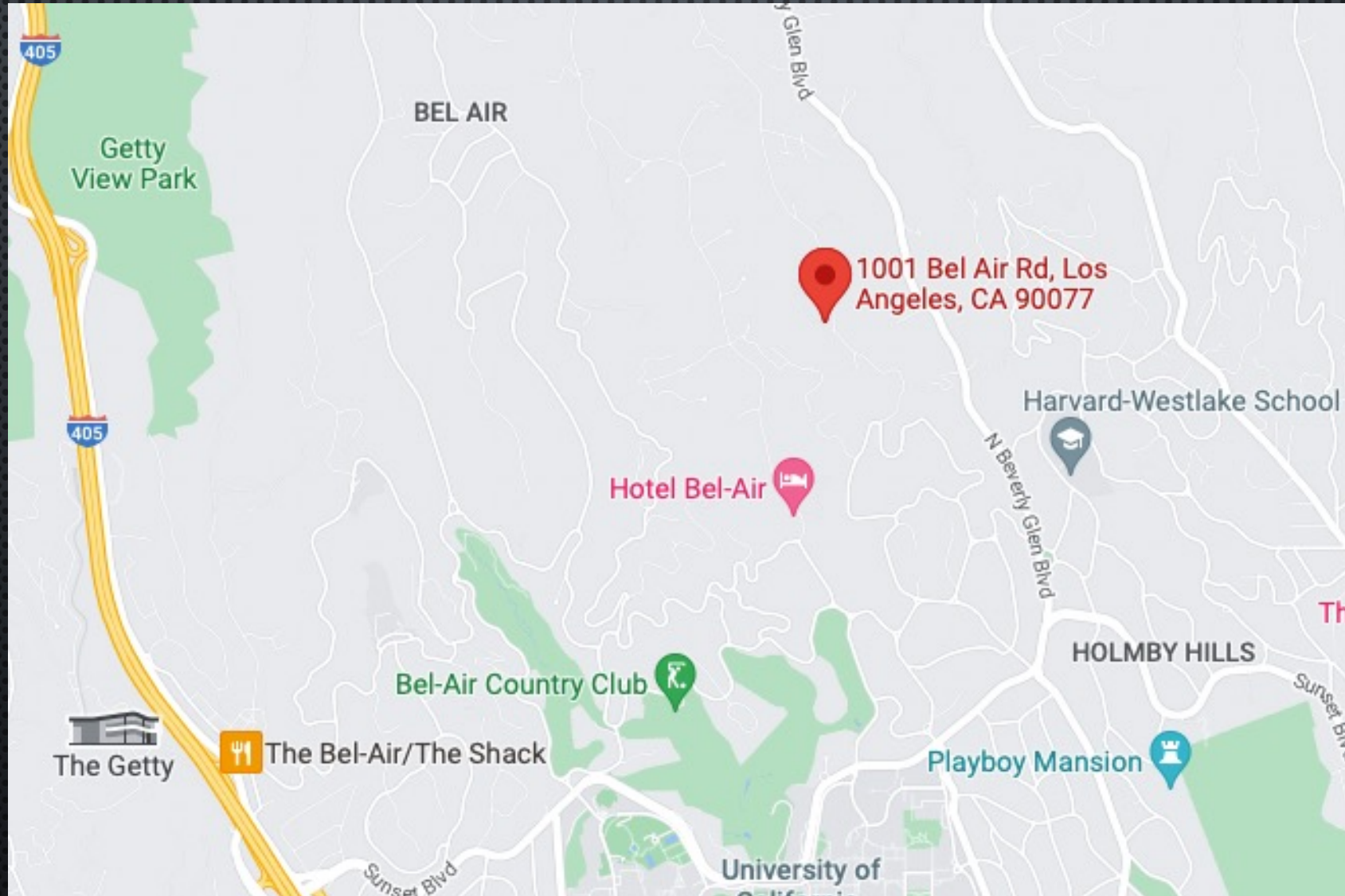
MAY 10, 2022

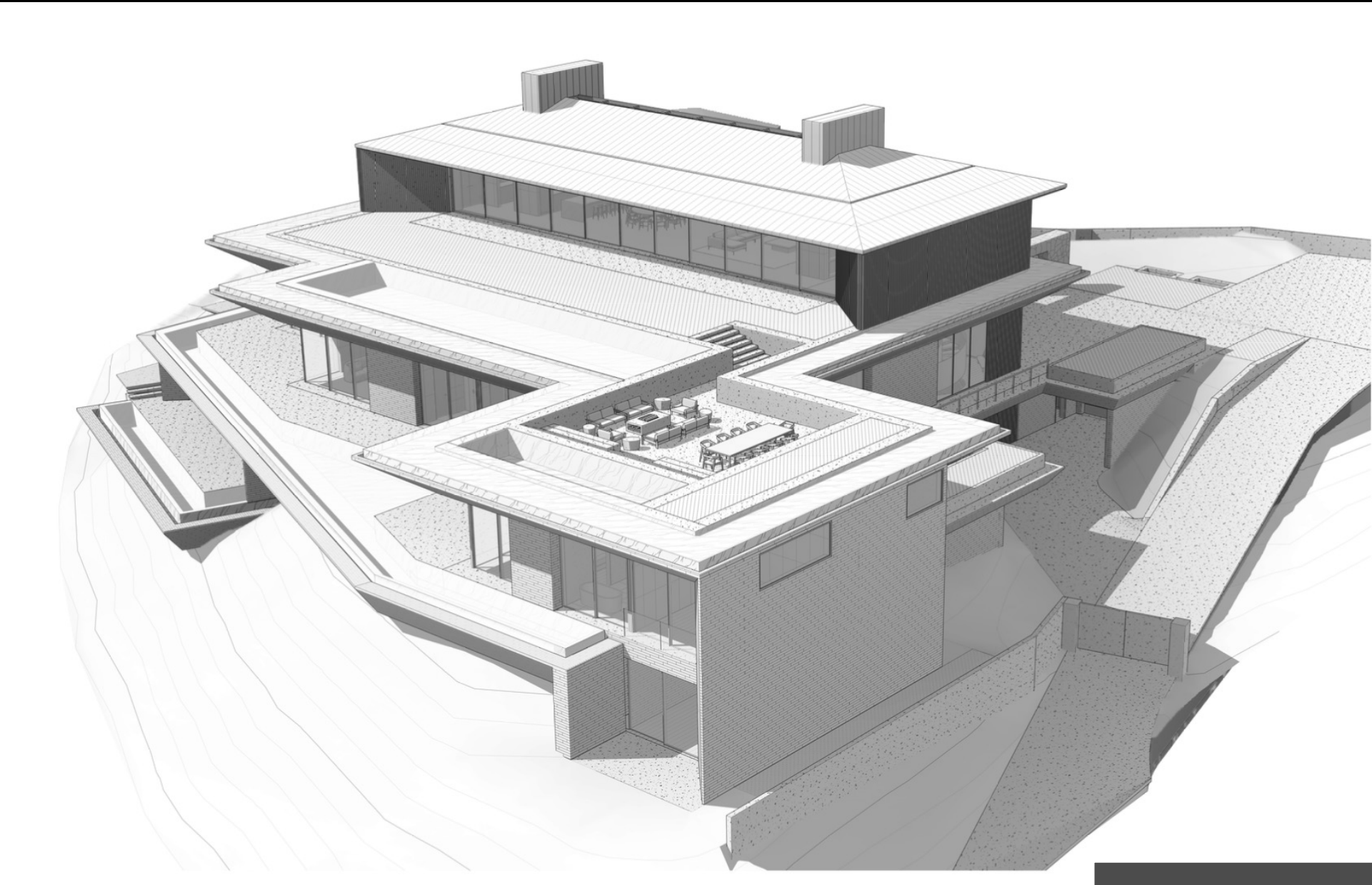
PRESENTED BY CREST REAL ESTATE

VICINITY MAP



LOCATION





*INITIAL RENDERING ONLY

FRONT VIEW

PROJECT INFO

ZONING INFORMATION: RE20-1-H-HCR

ALLOWABLE RFA PER SLOPE BAND ANALYSIS: 14,816.4 SF

PROPOSED SQUARE FOOTAGE: 14,317 SF

PROPOSED FLOORS: 2 + BASEMENT

PARKING: 4 COVERED + 2 UNCOVERED

LOCATION: BEL AIR-BEVERLY CREST

SETBACKS: FRONT – SIDE – REAR

PROPOSED BUILDING HEIGHT: 36'-0"

SEWER & UTILITY ACCESS: FROM PREVIOUS CONNECTIONS

REQUEST

Zoning Administrator's Determination seeking relief from L.A.M.C Section 12.21-C,10(i)(2) as it applies to a private portion of Bel Air Court, a.k.a Private Street #1345, in association with a proposed project to demolish an existing single-family dwelling and replace in-kind on a lot fronting a Substandard Hillside Limited Street that is improved with a roadway width of less than 20 feet. This instant request is solely for relief from the private portion of Bel Air Court as the public portion is greater than 20 feet in paved roadway width.

UTILITY ACCESS



SEWER ACCESS

Sewer access and other utility access (electric, gas, telephone) will be provided from existing connection as this home was previously improved with a single family dwelling



HYDRANT ACCESS

This development will utilize existing hydrant access.

**THANK
YOU!**