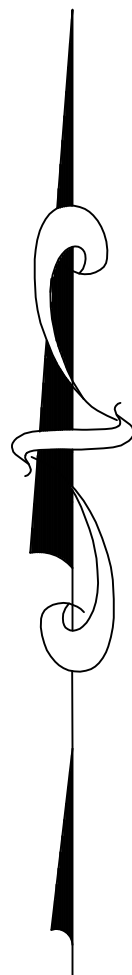
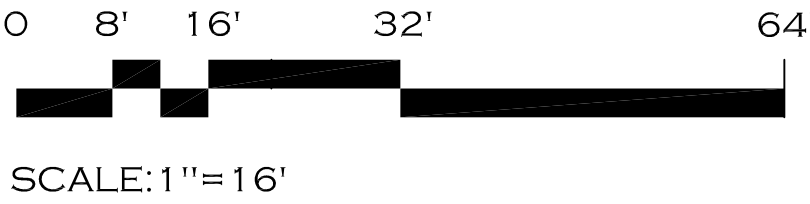


ABBREVIATIONS					
A	A.B.	Anchor Bolt	M	MAX.	Maximum
	A/C	Air Conditioning		M.B.	Machine Bolt
	A.C.	Asphalt Concrete		M.C.	Medicine Cabinet
	ACOUS.	Acoustical		MECH.	Mechanical
	A.D.	Area Drain		MEMB.	Membrane
	ADJ.	Adjustable		MET.	Metal
	A.F.F.	Above Finish Floor		MFR.	Manufacturer
	AGGR.	Aggregate		MH.	Manhole
B	AL.	Aluminum	N	MIN.	Minimum
	APPROX.	Approximate		MIR.	Mirror
	ARCH.	Architectural		MISC.	Miscellaneous
	ASB.	Asbestos		M.O.	Masonry Opening
	ASPH.	Asphalt		M.T.D.	Mounted
	A.S.W.	Area Separation Wall		M.T.L.	Metal
				MAX.	Mullion
C	BD.	Board	O	N.	North
	B.T.U.	British Thermal Unit		N.G.	Natural Grade
	BITUM.	Bituminous		N.I.C.	Not in Contract
	BLDG.	Building		NO.	Number
	BLK.	Block		NOM.	Nominal
	BLKG.	Blocking		N.T.S.	Not to scale
	BM.	Beam			
	BOT.	Bottom			
D	CAB.	Cabinet	P	O/	Over
	C.B.	Catch Basin		O.A.	Overall
	CEM.	Cement		OBS.	Obscure
	CER.	Ceramic		O.C.	On Center
	C.I.	Cast Iron		O.D.	Outside Diameter (Dim.)
	C.G.	Corner Guard		OFF.	Office
	CLG.	Ceiling		OPNG.	Opening
	CLKG.	Caulking		OPP.	Opposite
E	CLO.	Closet	Q	P.C.P.	Portland Cement Plaster
	CLR.	Clear		PRCST.	Pre-Cast
	C.O.	Cased Opening/ Clean Out		PL.	Plate/ Property Line
	COL.	Column		P.LAM.	Plastic Laminate
	CONC.	Concrete		PLAS.	Plaster
	CONN.	Connection		PLYWD.	Plywood
	CONSTR.	Construction		PNL.	Panel
	CONT.	Continuous		PNT.	Paint
F	CORR.	Corridor	R	PR.	Pair
	CTSK.	Countersunk		PT.	Point
	CNTR.	Counter		P.T.D.	Paper Towel Dispenser
	CTR.	Center		P.T.D./R	Paper Towel Dispenser and Receptacle
				PTN.	Partition
				P.T.R.	Paper Towel Receptacle
G	DBL.	Double	S	Q.T.	Quarry Tile
	DEPT.	Department		R.	Riser
	D.F.	Drinking Fountain/ Douglas Fir		RA.	Radius
	DET.	Detail		R.D.	Roof Drain
	DIA.	Diameter		REF.	Reference
	DIM.	Dimension		REFR.	Refrigerator
	DISP.	Dispenser		RGTR.	Register
	DN.	Down		REINF.	Reinforced
H	D.O.	Door Opening	T	REQ.	Required
	DR.	Door		RESIL.	Resilient
	DWR.	Drawer		R.O.	Rough Opening
	DS.	Downspout/ Double Strength (Glass)		RM.	Room
	D.S.P.	Dry standpipe		RTNG.	Retaining
	DWG.	Drawing		RWD.	Redwood
				R.W.L.	Rain Water Leader
I	E.	East	U	S.	South
	E.A.	Each		S.C.	Solid Core
	E.J.	Expansion Joint		S.C.D.	Seat Cover Dispenser
	EL.	Elevation		SCHED.	Schedule
	ELEC.	Electrical		S.D.	Soap Dispenser/ Storm Drain
	ELEV.	Elevator		SECT.	Section
	EMER.	Emergency		S.F.	Square Feet
	ENCLOS.	Enclosure		SH.	Shelf
J	E.P.	Electrical/Panel Board	V	SHR.	Shower
	EQ.	Equal		SHT.	Sheet
	E.QPT.	Equipment		SHTG.	Sheathing
	E.W.C.	Electric Water Cooler		SIM.	Similar
	EXIST.	Existing		S.N.D.	Sanitary Napkin Dispenser
	EXST.	Existing		S.N.R.	Sanitary Napkin Receptacle
	EXP.	Exposed		S.O.V.	Shut Off Valve
	EXP.	Expansion		SPEC.	Specification
K	EXT.	Exterior	W	SQ.	Square
				S.S.T.	Stainless Steel
				S.SK.	Service Sink
				STA.	Station
				STD.	Standard
				STL.	Steel
				STOR.	Storage
				STRLL.	Structural
L	F.A.	Fire alarm	X	STRUC.	Structure
	F.B.	Flat bar		STRUC'L.	Structural
	F.D.	Floor drain		SUSP.	Suspended
	FND.	Foundation		SYM.	Symmetrical
	F.E.	Fire Extinguisher		S4S	Smooth Four Sides
	F.E.C.	Fire Extinguisher Cab.			
	F.F.	Finished Floor			
	F.G.	Finished Grade			
M	F.H.	Fire Hydrant	Y	T.	Thermostat
	F.H.C.	Fire Hose Cabinet		TRD.	Tread
	FIN.	Finish		T.B.	Towel Bar
	F.L.	Floor/ Flow Line		T.C.	Top of Curb/ Concrete
	FLASH.	Flashing		TEL.	Telephone
	FLUOR.	Fluorescent		T.&G.	Tongue and Groove
	F.O.C.	Face of Concrete		THK.	Thick
	F.O.F.	Face of Finish		T.O.P.	Top of Plate
N	F.O.S.	Face of Studs	Z	T.O.P.	Top of Pavement
	F.P.	Fireproof		T.P.D.	Toilet Paper Dispenser
	FRMG.	Framing		T.W.	Top of Wall
	F.S.	Full Size Floor Sink		T.V.	Television
	FT.	Foot or Feet		TYP.	Typical
	FTG.	Footing			
	FURR.	Furring			
	FUT.	Future			
O	GA.	Gauge	AA	UNF.	Unfinished
	GALV.	Galvanized		U.N.O.	Unless Noted Otherwise
	G.B.	Grab bar		UR.	Urinal
	G.I.	Galvanized Iron		U.T.R.	Up Through Roof
	GL.	Glass			
	GND.	Ground			
	GR.	Grade			
	GYP.	Gypsum			
P	G.W.B.	Gypsum Wallboard	BB	V.	Vent
				V.C.P.	Vitrified Clay Pipe
				VERT.	Vertical
				VEST.	Vestibule
				V.G.	Verticle Grain
				V.G.D.F.	Verticle Grain Douglas Fir
				V.T.R.	Vent Though Roof
Q	H.B.	Hose Bibb	CC	W.	West
	H.C.	Hollow Core		W/	With
	H.D.	Heavy Duty		W.C.	Water Closet
	HDWD.	Hardwood		WD.	Wood
	HDWE.	Hardware		W/O	Without
	H.M.	Hollow Metal		WP	Waterproof
	HORIZ.	Horizontal		WP'G	Waterproofing
	HR.	Hour		WSC.	Wainscot
R	HGT.	Height	DD	WT.	Weight
	H.W.	Hot Water			
S	I.D.	Inside Diameter (Dim.)	EE		
	I.E.	Invert Elevation			
	INSUL.	Insulation			
	INT.	Interior			
T	JAN.	Janitor	FF		
	JST.	Joist			
	JT.	Joint			
U	KIT.	Kitchen	GG		
V	LAB.	Laboratory	HH		
	LAM.	Laminate			
W	LAV.	Lavatory	II		
	LBS.	Pounds			
	L.F.	Lineal Feet			
	LKR.	Locker			
	L.S.	Laundry Sink			
	LT.	Light			
X			JJ		
Y			KK		
Z			LL		

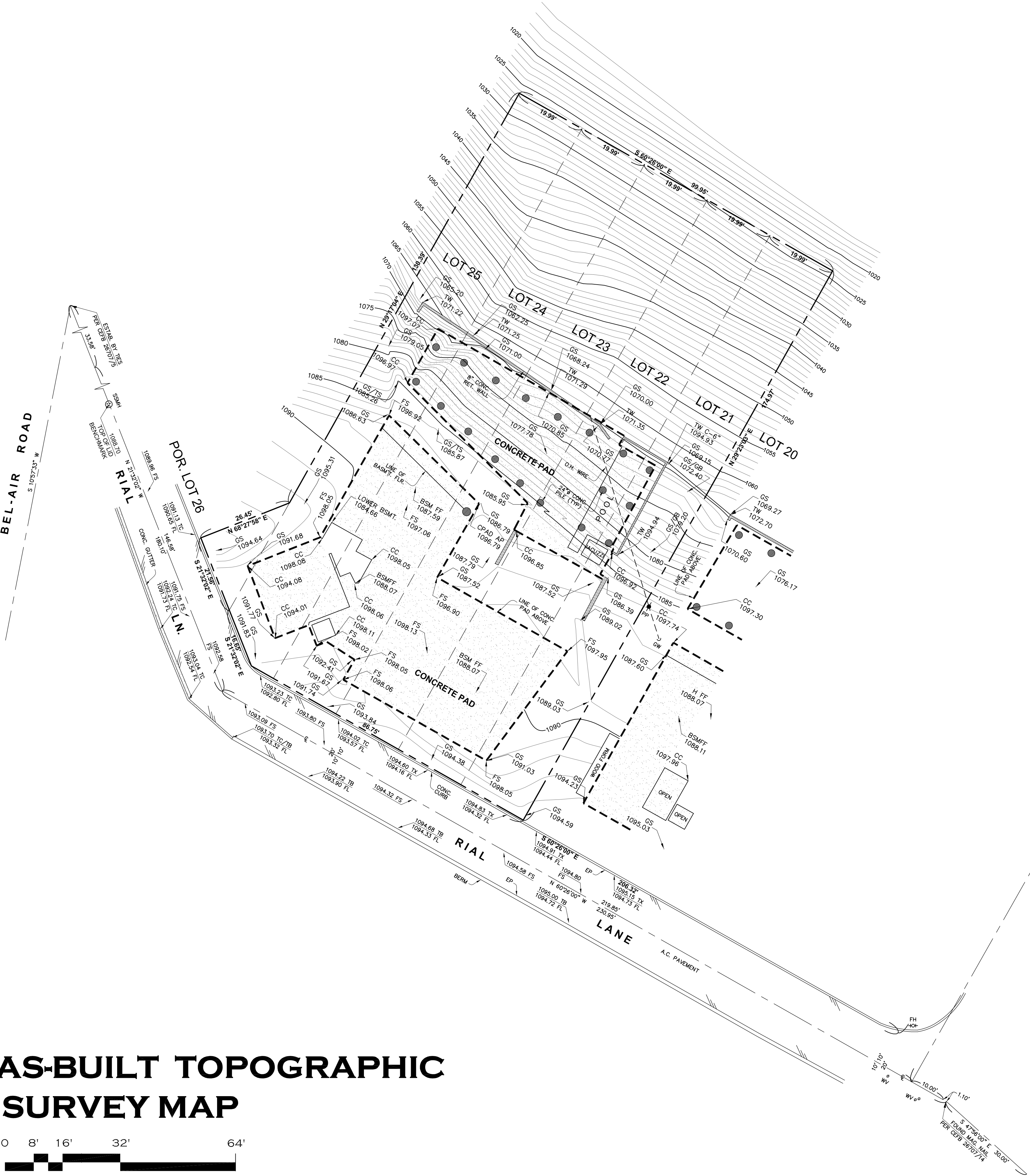




AS-BUILT TOPOGRAPHIC  
SURVEY MAP



SCALE: 1"=16'



NOTE :

- 1. THE BOUNDARY LINES SHOWN HEREON ARE FOR REFERENCE ONLY, COMPILED FROM CITY AND COUNTY RECORDS.
- 2. THIS MAP DOES NOT SHOW ANY EASEMENTS UNLESS SPECIFIED HEREON.

BENCH MARK

SET BM AT THE TOP OF LID  
ELEV = 1088.70 FEET

BASIS OF BEARING

THE BEARING OF N 60°26'00" W ON RIAL LN. CENTERLINE AS SHOWN IN TRACT NO. 10333 M.B. 18 PAGES 86-87, WAS USED AS THE BASIS OF BEARING FOR THIS MAP.

LEGEND

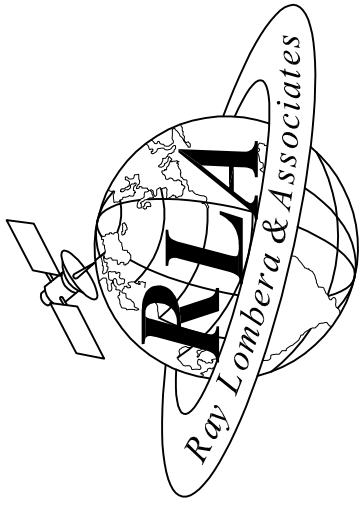
	CENTER LINE
	PROPERTY LINE
	CHAIN LINK FENCE
	WOOD FENCE
	LOT LINE
	GAS LINE
	SEWER LINE
	WATER LINE
	OVER HEAD TELEPHONE CABLE
	WOOD WALL
	CONC. WALL
	EDGE OF PAV'T
	ASPHALT CONCRETE
	AIR CONDITIONING UNIT
	CONCRETE CEMENT/CONC. CORNER
	CONCRETE CEMENT CURB
	BUILDING CORNER
	BACK OF WALK/BOTTOM WALL
	CATCH BASIN
	CENTERLINE
	CHAIN LINK FENCE
	CONTROL VALVE
	COLDWATER LINE
	DRAINAGE INLET
	DRAINAGE OUTLET
	DOOR
	DRIVEWAY
	DOWNSPOUT
	ELECTRIC BOX
	EDGE OF PAVEMENT
	ELECTRIC TRANSFORMER
	ELECTRIC VAULT
	FLOOR DRAIN
	FLOW LINE
	FIRE HYDRANT
	FENCE
	FLAGPOLE / FIRE PLACE
	FINISH SURFACE
	FIRE WATER VALVE
	GARAGE FINISH FLOOR
	GAS METER
	GROUND SHOT
	GAS VALVE/GATE VALVE
	GUY WIRE ANCHOR
	HOUSE FINISH FLOOR
	IRRIGATION BOX CONTROL
	LIGHT POLE
	MANHOLE
	METAL
	PROPERTY LINE
	POWER POLE
	PULL BOX
	SANITARY SEWAGE CLEANOUT
	STREET SIGN/STOP SIGN
	STORM DRAIN CATCH BASIN
	STORM DRAIN MANHOLE
	STREET LIGHT BOX
	TOP OF BERM
	TOP OF CURB
	TOP OF WALL
	TOP OF "X"
	UNDERGROUND ACCESS
	WATER BIB
	WATER METER
	WATER VALVE
	RECORD DISTANCE
	MEASURED DISTANCE
	CALCULATED DISTANCE
	CALCULATED AND MEASURED
	POWER POLE
	GUY WIRE ANCHOR
	CATCH BASIN
	SSMH (SANITARY SEWER MANHOLE) OR UTILITY MANHOLE
	TREE
	OAK TREE
	PINE TREE
	PALM TREE
	YUCCA TREE
	FIRE HYDRANT
	PP/ELECTROULER
	VALVE (UTILITY)
	METER
	VERTICAL & HORIZONTAL CONTROL POINT

LEGAL DESCRIPTION

LOTS 21 TO 25 & PORTION OF LOT 26 OF TRACT NO. 10333, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGES 86-87 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

REVISIONS:

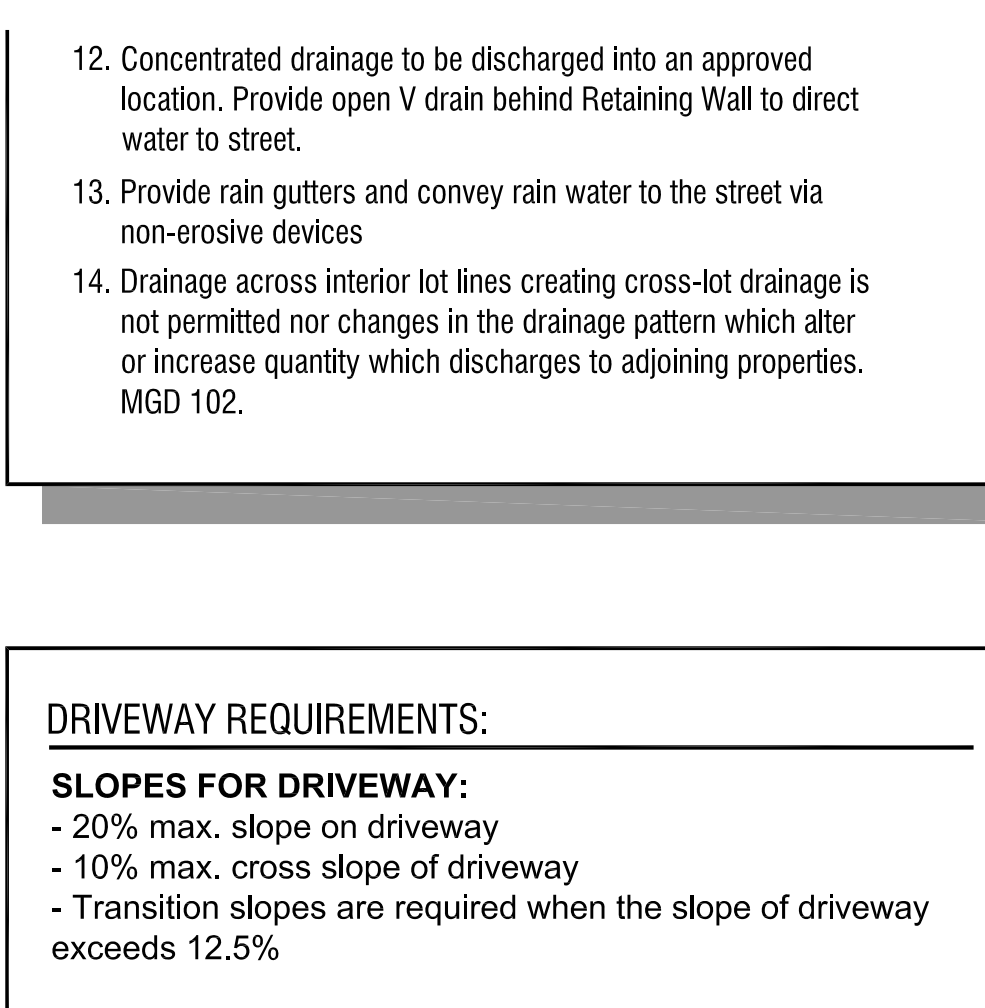
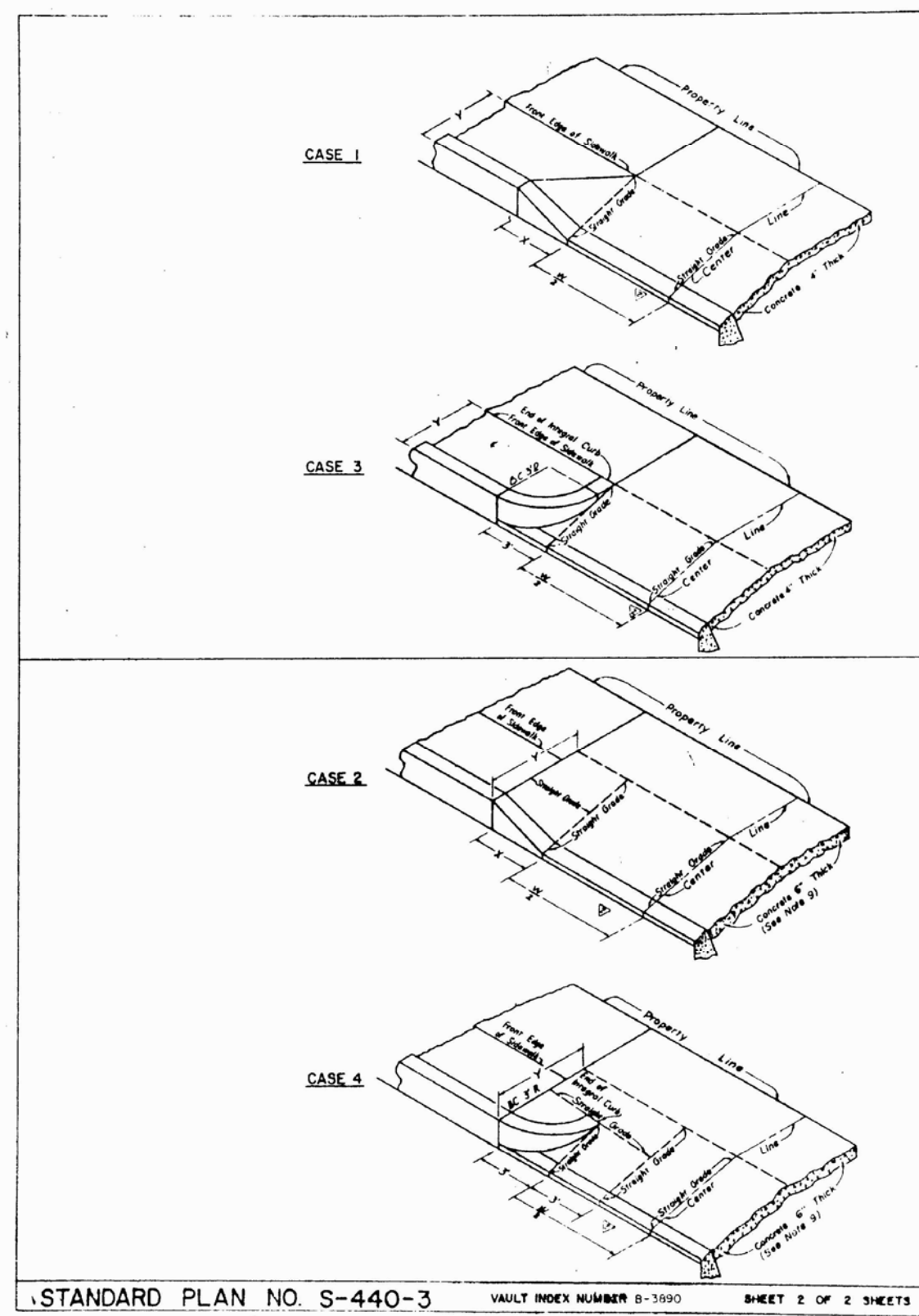
**Ray Lombera & Associates, Inc.**  
**Land Surveying Planning Land Development**  
135 S. JACKSON ST., STE. 202, GLENDALE, CALIFORNIA 91205  
TEL: (323) 257-9771 FAX: (323) 257-9865 WWW.RAYLOMBERA.COM



**JOB ADDRESS:**  
1816 RIAL LANE  
LOS ANGELES, CA 90077  
**REQUESTED BY:**  
HAFCO & ASSOCIATES

CHECKED BY:  
R.L.  
DRAWN BY:  
R.D.P.  
DATE:  
FEB. 6, 2018  
SCALE:  
1"=16'-0"  
SHEET NO.  
**C-1**  
SHEET 1 OF 1





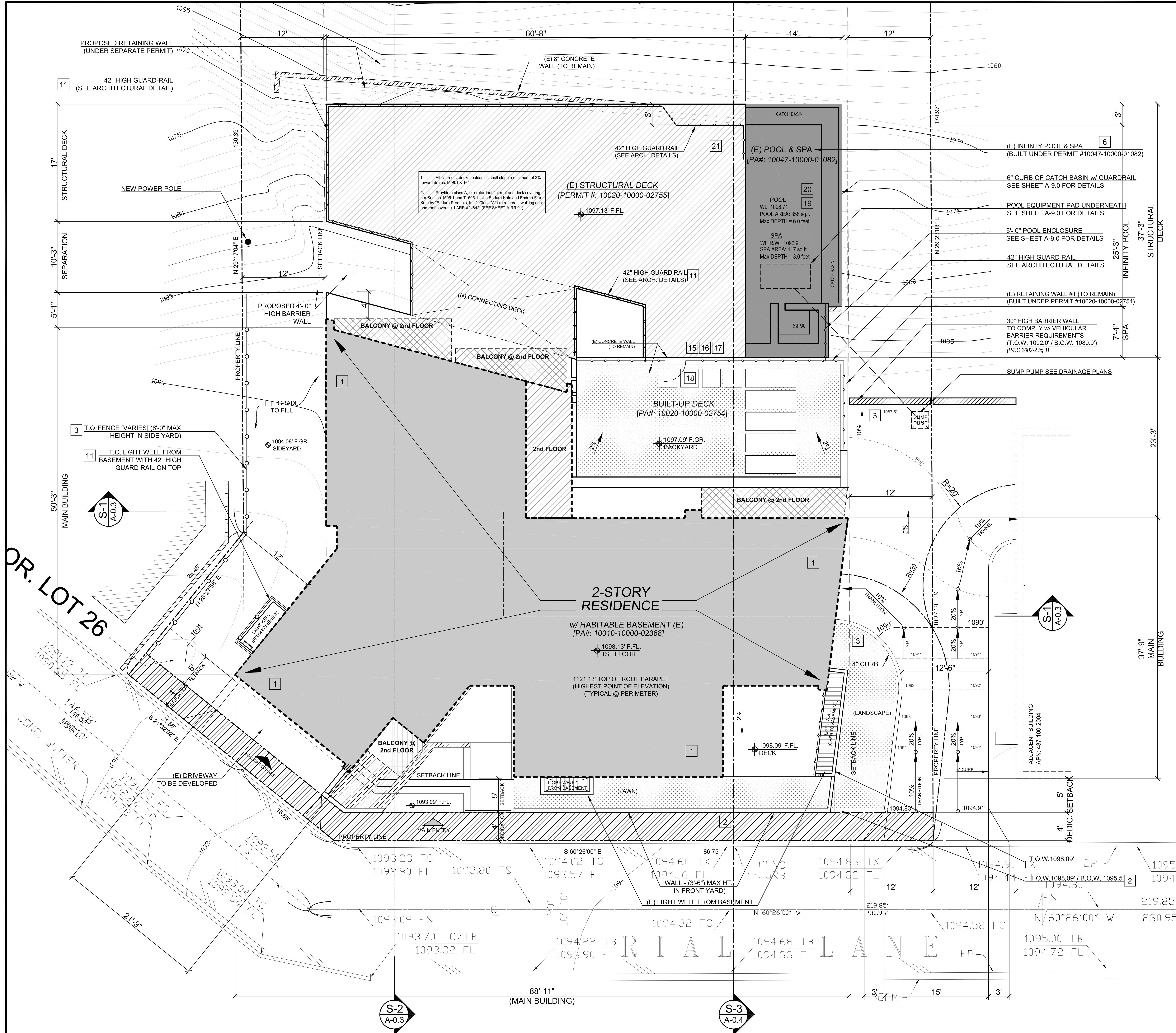
1. All roof and area drainage through site to be conducted underneath the sidewalk to street curb.
2. All front yard retaining walls not to exceed 3'-6" in height above the existing natural grade and in its overall height.
3. Height of wall/fence/built-up deck cannot exceed the allowable height of 6' in side and rear yards in hillside areas. If guard-rail is required the height of the guard-rail must be included in the measurement of the overall height of wall/fence/built-up deck.
6. UNDER SEPARATE PERMIT APPLICATION NUMBER.
7. A Registered deputy Grading Inspector is required on all shoring work including slot-cuts Sec.1701.5
8. Temporary erosion control to be installed between November 1 and April 15.
9. Retaining walls located closer to the property line than the height of the wall shall be backfilled not later than 10 days after construction of the wall and necessary structural supporting members unless recommended otherwise by responsible engineer.
10. A minimum of 1 ft. of freeboard is required.
11. Provide a quardrail (min. 42" high) on top of walls for yard areas which drop more than 30 inches.

- a. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, etc.) and shall not restrict access to the fire alarm control panel. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- b. An approved Safety Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and will be connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170-158) (Separate plumbing permit is required).
- c. Plumbing fixtures are required to be connected to a sanitary sewer and to an approved sewer disposal system (R306.3).
- d. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).
- e. Bathrooms and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonslipstone surface. Such wall surfaces shall extend to a height of not less than 8 feet above the floor (R307.2).
- f. Provide ultra-violet light water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- g. Unit Skylights shall be labeled by a U.S. City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. (Research Report not required). (R308.9.5)
- h. Water heater panel shall be strapped to wall. (Sec. 507.3, LAPC)
- i. For existing pool on site, provide an alarm for access to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) the alarm. The alarm shall be tested and maintained in accordance with the code. (1019 of LABC)
- j. For a single pool on site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlet of the swimming pool, bottom pool and spa for single family dwellings per Assembly Bill (AB) No. 2977. (31626)
- k. Automatic garage door opener, if provided, shall be listed in accordance with UL 325. (R309.4)
- l. Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.8.2)
- m. Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or hot-tubbing appliances shall be provided with a carbon monoxide alarm in accordance with Section 315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit in which the permit was obtained. (R315.2.2)
- n. Every space intended for human occupancy shall be provided with natural light by means of exterior glazing openings in accordance with Section R303.1; or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
- o. A copy of the evaluation report and/or conditions of listing shall be made available at the job site.

15. All new pool enclosures shall be a minimum of 5 feet in height.
16. The fence shall use one of the following approved construction materials: wood, masonry, concrete, corrosion-resistant steel metal or chain link fence. A fence shall be maintained in good repair and shall be kept vertical, uniform and structurally sound per LAMC Section 12.21A9.
17. The pool fence shall be structurally designed to resist minimum lateral loads due wind and seismic loads per LABC Section 91.1609 and 91.1610.
18. All access gates through the enclosure shall open away from the swimming pool and shall be self-closing with a self-latching device placed no lower than 60 inches above the ground. (See gate detail on this page).
19. Every pool shall be equipped with an approved filter unit and drain. The location of pool equipment shall require an additional inspection and approval by the Noise Enforcement Inspector, when the pool equipment is located less than 10 feet from a property line of an adjoining property.
20. Each new pool or SPA shall have a minimum of two circulation drains per pump. The drains or outlets shall be hydraulically balanced and symmetrically plumbed through one or more "T" fittings, and separated by a distance at least three feet in any dimension between drains. Any backup safety system shall meet the standards as published in the "Guidelines for Entrapment Hazards".
21. Deck build around the pools shall not drain into the sanitary sewer. Drainage may be conducted to street (storm drain) via non-erosive device.
22. Provide an alarm for doors to the dwelling that form a part of a pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be operated with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 54" above the floor.

- A. No ground water shall be above any portion of the pool construction.
- B. All surface water shall drain away from the pool.
- C. Electrical inspection shall approve grounding of reinforcing, plumbing and conduit prior to the approval of reinforcing steel for pouring of concrete or grout.
- D. The noise level from the pool equipment located less than 10 feet from a property line of an adjoining property, shall not exceed ambient noise level by more than five decibels.
- E. Continuous inspection is required for shotcrete/gunitite pool.
- F. Anti-entrapment cover meeting the current ASTM or ASME is required for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per the Assembly Bill (AB) No. 2977.





- NOTES:
- All roof and area drainage throughout site to be conducted underneath the sidewalk to street curb.
  - All front yard retaining walls not to exceed 3'-6" in height above the existing natural grade and in its overall height.
  - Height of wall/fence/built-up deck cannot exceed the allowable height of 6' in side and rear yards in hillside areas. If guard-rail is required the height of the guard-rail must be included in the measurement of the overall height of wall/fence/built-up deck.
  - UNDER SEPARATE PERMIT APPLICATION NUMBER.
  - A Registered deputy Grading Inspector is required on all shoring work including slot-cuts Sec.1701.5
  - Temporary erosion control to be installed between November 1 and April 15.
  - Retaining walls located closer to the property line than the height of the wall shall be backfilled not later than 10 days after construction of the wall and necessary structural supporting members unless recommended otherwise by responsible engineer.
  - A minimum of 1 ft. of freeboard is required.
  - Provide a guardrail (min. 42" high) on top of walls for yard areas which drop more than 30 inches.
  - Concentrated drainage to be discharged into an approved location. Provide open V drain behind Retaining Wall to direct water to street.
  - Provide rain gutters and convey rain water to the street via non-erosive devices
  - Drainage across interior lot lines creating cross-lot drainage is not permitted nor changes in the drainage pattern which alter or increase quantity which discharges to adjoining properties. MGD 102.

- ADDITIONAL 2011 LABC REQUIREMENTS:
- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
  - An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building.
  - Plumbing fixtures are required to be connected to sanitary sewer or to an approved sewage disposal system (R306.3)
  - Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall activate within 7 seconds and sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 54" above the floor (3109.4.1.8)
  - For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME is required for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per the Assembly Bill (AB) No. 2977
  - Provide anti-Graffiti finish within the first 9 feet, measured from grade, at exterior walls and doors.

- POOL REQUIREMENTS:
- All new pool enclosures shall be a minimum of 5 feet in height.
  - The fence shall use one of the following approved construction materials: wood, masonry, concrete, corrosion-resistant sheet metal or chain link fence. A fence shall be maintained in good repair and shall be kept vertical, uniform and structurally sound per LABC Section 12.21A9.
  - The pool fence shall be structurally designed to resist minimum lateral loads due wind and seismic loads per LABC Section 91.1609 and 91.1610.
  - All access gates through the enclosure shall open away from the swimming pool and shall be self-closing with a self-latching device placed no lower than 60 inches above the ground. (See gate detail on this page)
  - Every pool shall be equipped with an approved filter unit and drain. The location of pool equipment shall require an additional inspection and approval by the Noise Enforcement Inspector, when the pool equipment is located less than 10 feet from a property line of an adjoining property.
  - Each new pool or SPA shall have a minimum of two circulation drains per pump. The drains or outlets shall be hydraulically balanced and symmetrically plumbed through one or more "T" fittings, and separated by a distance at least three feet in any dimension between drains. Any backup safety system shall meet the standards as published in the "Guidelines for Entrapment Hazards".
  - Deck build around the pools shall not drain into the sanitary sewer. Drainage may be conducted to street (storm drain) via non-erosive device.
  - Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs.max.) for a single opening. The deactivation switch shall be at least 54" above the floor.

- GENERAL NOTES:
- No ground water shall be above any portion of the pool construction.
  - All surface water shall drain away from the pool.
  - Electrical inspection shall approve grounding of reinforcing, plumbing and conduit prior to the approval of reinforcing steel for pouring of concrete or grout.
  - The noise level from the pool equipment located less than 10 feet from a property line of an adjoining property, shall not exceed ambient noise level by more than five decibels.
  - Continuous inspection is required for shotcrete/gunite pool.
  - Anti-entrapment cover meeting the current ASTM or ASME is required for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per the Assembly Bill (AB) No. 2977.

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CONSULTING ARCHITECTS & ENGINEERS  
4334 WILSHIRE BLVD. LOS ANGELES CA 90048  
TEL (323) 651-0007 FAX (323) 655-6416



NO.	DATE	DESCRIPTION
1	SEPT. 2020	

DRAWING TITLE	JOB TITLE	JOB ADDRESS	OWNER / DEVELOPER
SITE PLAN - PARTIAL		1815 RIAL LANE, LOS ANGELES, CA 90077	OZKA LLC
DATE	SCALE	DRAWN BY	JOB NUMBER
SEP. 2020	3/16" = 1' - 0"	MM, GD, EL, JL	
SHEET NUMBER			
A-0.2a			



## 2017 LARC BUILDING CODE REQUIREMENTS:

- a. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hookup. The construction shall not to within ten feet of any power line whether or not the lines are located on the property. Failure to comply may cause construction delays and additional expenses.
  - b. An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170-158) (Separate plumbing permit is required).
  - c. Plumbing fixtures are required to be connected to a sanitary sewer and to an approved sewer disposal system (R306.3).
  - d. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).
  - e. Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).
  - f. Provide ultra-fine flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
  - g. Unit Style(s) shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. (Research Report not required). (R308.6.9)
- f. For existing pool site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 sec. max.) by a single opening. The deactivation switch shall be at least 54" above the floor. (R109.9 LA CBC)
  - f. For existing pool site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2977. (31628)
  - k. Automatic garage door opener, if provided, shall be listed in accordance with UL 325. (R309.4)
  - l. Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.6.2)
  - m. Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing carbon or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.2)
  - n. Every space intended for human occupancy shall be provided with natural light by means of exterior lighted openings in accordance with Section R305.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
  - o. A copy of the evaluation report and conditions of listing shall be made available to the job holder.

## KEY NOTES

36. 36" x 30" roof access hatch. (SEE DETAIL 2 & 4 SHEET A-10.7)
37. 24" x 30" attic access.
41. Attic access with pull down ladder.
45. Screened under-floor vent.
46. Under-door access.
47. Exhaust fan capable of providing five (5) complete air changes per hour. Vent exhaust fans to outside air. (See mechanical plans).
48. Provide self-closing device on Fire Rated door (see door schedule SHEET A-8.0).
49. Line of exhaust piping to be installed with remote exhaust fan(s). Verify ventilation requirements with manufacturer specifications.
50. Provide 5/8" type "X" gypsum board on all garage walls, ceiling, pots and beams supporting dwelling and shall extend from top of concrete to, and including garage ceiling.
51. Fire door shall be installed at: 770.2.1.1
- 51.1 Concoated space between stair stringers at top and bottom run.
- 51.2 At openings around vents, pipes, ducts, chimneys (non-combustible materials).
- 51.3 At openings between attic and chimneys chase for factory built chimney.
52. For garage door opening: Provide 1/2" minimum space between gypsum board is installed.
53. 12" x 12" minimum access panel to bathtub trap connection with slip joints (5/4-B UP); Solid trap at tubs without access panels must be provided.
54. Electrical sub panel. (See electrical plans).
55. Built in cabinetry.
56. Washer: Recessed hot and cold water and drain standpipes must be provided. Floor drain under washer must also be provided.
57. Dryer: Weather hood vent with damper to outside air at roof to must be provided. The vent duct shall be min. 4", smooth galv. metal and is limited to 14' with two elbows.
58. Water softener.
59. F.A.U., with night setback thermostat and summer fan switch; Combustion air vent and condensation line to outside air vent must be provided. If required, provide 20" plywood exterior finish (see mechanical plans). See title 24 for size and model.
60. Gas fired Hot-Water water heater" storage tank with circulating pump and R-5 insulation; Verify with title 24. For lateral support in the event of an earthquake, secure to wall framing with metal straps at top and bottom. For water softener, provide plumbing loops.
61. Provide 1/2" min. high wood platform with 5/8" type "X" gypsum board finish. (SEE DETAIL 2 SHEET A-10.5)
62. Phone panel: All lines to be home run.
63. Told shower with stone on walls to ceiling height.
63. Shower with stone on walls to ceiling height: Shower pan shall not be hot mopped with 4" built up surface.
64. Provide tempered glass shower enclosure - See specifications.
65. Soap and shampoo niche.
66. Built-in whirlpool tub: Deck, skirt and sealant must be provided. As required, provide wood framed tub enclosure with mechanical panel. Electrical sub-contractor shall provide electrical supply and connections as required.
67. Steam shower: Mr. Steam model no. MS SUPER II: Enclosure shall be tempered glass with hopper window above door. (Finish ceiling with same material as walls and slope 2" per 6' per manufacturer's instructions. See MFRC recommendations.)
68. Pre-fabricated fireplace unit: ISROKIN 48" fireplace and chimney system by EARTHCOORE INDUSTRIES, RR# 25483, FL gas and loose key valve must be provided. Approved spark arrester at chimney termination must also be provided. Provide fireproof enclosure as required. See specifications for glass enclosure. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.8)
69. Metal breafers with hermeneburg brick pattern & Seklik's metal-alloys SS316 fire proof grill in accordance with the structural plans. Provide combustion air as required. Provide spark arrester at chimney termination. (SEE SHEET A-10.9)
70. Verify with owner if Instant-hot dispenser and water filtration system shall be provided.
71. Provide purified cold water supply line to ice-maker with recessed shut off valve.
72. Verify with owner.
73. **Cooking Top/Range faucet, (Location: Kitchen).**
- 73.1 1-hour fire-resistance-rated wall separating U from R-3 occupancy (per IRC T 720.1.2).
- 73.2 2-hours fire-resistance-rated wall separating R-2 from R-3 occupancy (per IRC T 720.1.2).
- 73.3 2-hours fire-resistance-rated floor/ceiling assembly separating R-2 from R-3 occupancy (per IRC T 720.1.2).
74. Archway/dormer assembly (See elevations).
75. GPX Door/Doorway above SuperLite IXL by "Salfi" SR# 25786
76. Decorative niche. Verify owner's requirements.
77. Provide 15" minimum between the center of water closet to any side wall and 24" clear space in front.
78. Provide spark arrester in chimneys of all fire places w openings not to exceed 12 inches. Fire code section 1169.7 and U.B.C. section 6403.5 & section 3102.3 A-B.U.C. section (max. 1/2 inch screen).
79. Wet bar must NOT include any of the following items: natural gas outlet, 220 AC outlet, double sink, bar sink exceeding one foot, hot water line, refrigerator exceeding 10 cu.ft., garbage disposal, dishwasher, sink, drain, disposal for cooking or heating oil, total counter space exceeding 10 sq. feet. Counter finish must be owner's requirements.
80. Built-in shelving shall verify with owner's.
81. Verify with owner.
82. Provide 42" quadrants with less than 4" clear spacing between intermediate rails when the walking surface is higher than 30" above adjacent grade.
83. Tempered Glass "T"
84. Elevator Requirements: Ensure that pit depth and overhead clearance is in accordance with ASME A17.1 requirements. Special mechanical panel is required for elevator.

### GENERAL FLOOR PLAN NOTES

- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section 1205.2.5.2 shall be provided with artificial light that is adequate to provide an average illumination of 10 footcandles over the area of the work surface. See Sections 1205.1, 1205.2, 1205.3 & 1205.6.
- Every space intended for human occupancy shall be provided with natural ventilation by means of operable external wall openings less than six square feet per room. Mechanical ventilating systems may be permitted under Section 1204.3.
- B. Entrance doors shall be self-closing doors with a minimum 2.0 lbs. below the threshold. If the door does NOT swing over the landing, landing shall be not more than 7.75' below the threshold. Landing at or above shall have a length measured in the direction of travel of no less than 36".
- C. Stairways dimensions and construction:
- A. Minimum clear height shall be 8'-0" minimum, 10' net. (SEE DETAIL 1.2 & 3 SHEET A-10.3)
- B. Minimum 6"-9" vertical headroom at tread nosing
- C. Minimum 36" clear width,
- D. Handrails 34" to 38" high.
- E. Provide stairway Illumination, 1 foot-candle at tread run
- D. Stairs are Marshall approved smoke alarms (detectors) as shown must be provided. Smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back-up and low battery signal. Smoke detectors shall be located in each sleeping room and hallway or area giving access to a sleeping room or hallway and in bedrooms and bathrooms. In addition, one detector in close proximity to stairwells where sleeping areas are on upper level. Detectors should sound an alarm audible in all sleeping areas of the dwelling unit which they serve. Smoke alarms shall be interconnected so that activation of one alarm will activate all the alarms within the dwelling unit.
- E. Provide anti-Graffiti finish within the first 9 ft. measured from grade at exterior walls and windows.
- F. Upon review if structural plans may not show non-structural framing, rough carpenter to review all architectural sheets for clear understanding of work to be included in bid.
- G. Provide self-extinguishing plastic ceiling tiles with a maximum weight of 1 lb./sq. ft. with structural panels. All exterior and interior studs shall be 2 x 6 framing or multiple rows of 2 x 6(4's) unless otherwise noted. Spacing and specifications per structural engineer.
- I. As required by Current Building Code, draft stops must be provided. Enclosed spaces such as stud walls, partitions and turned walls shall have the stops at top and bottom of wall. Draft stops shall be installed at all other walls with structural panels.
- J. Insulation: Provide R-19 Min. insulation at all exterior walls, including garage. Provide R-30 min. insulation in attic spaces. Refer to IE 24 for additional requirements. Provide R-19 insulation at all interior walls and R-30 insulation between second and third floors. Insulate around plumbing pipes.
- K. Attic ventilation equal to 1/150 of s.f. of attic area is required.
- L. Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum .040-in (14Bmm) sheet steel.
- M. Garage floor surface shall be of noncombustible materials or asphaltic paving materials. Garage walls and garage ceiling shall be 1-hr. Fire Rated.
- N. Building shall be fully sprinklered per NFPA 134. The sprinkler system shall be automatic type and approved by Professional Division prior to installation.
- O. 1" Draft and Smoke Stop (RFS) - Provide fire-resistance assembly formed of combustible construction, unless the building is sprinklered with NFPA 13 sprinkler system (1000' of between draft stops) (717.2.3.4.2).
- P. Provide draft-proofing for all walls below grade and enclose "outside space." Specify details per current RFS.
- Q. Water Heater must be strapped to wall (Sec.507.3, UPC). (SEE DETAIL 16 SHEET A-10.3)
- R. Provide ultra flush water closets for all new construction. Existing shower heads and toilets must be upgraded for low water consumption.
- S. Provide 7'x7'x6" noncombustible concrete base for shower and approved shatter-resistant materials for shower enclosure. (91.807.1.3, 91.240K.415, 91.111MB.67.8)
- T. A corrosion resistant wear screen is required below the subsurface minimum of 4" above street or 2" above paved area 91.250K.65 (SEE DETAIL 16.8 & SHEET A-10.5)
- U. Provide 1/2" thick deck material (minimum 1/4" thick) 91.250K.67, 91.250K.68, 91.181.1.
- V. Provide a clean, fire-retardant flat roof deck covering per section 1505.1 and 1505.2.
- W. Use Enduro-Kote and Enduro-Flex Kote by "Enduro Products, Inc.", Class "A" fire retardant walking deck and roof covering. LARF # 25261. (SEE SHEET AR001)
- V. 20 minutes Fire Rated Door (Solid core light fitting), Self-Closing and Self-Latching Device. (See Detail AR001)
- W. 90 minutes Fire Rated Door (Solid core light fitting), Self-Closing and Self-Latching Device. (See Detail AR001)
- X. Provide 1/2" thick fire-rated floor assembly consisting of 1/2" gypsum board, 1/2" concrete, 1/2" gypsum board.
- X. The construction shall not restrict a fire-load check and unobstructed access to every water supply, fire alarm pull station, fire extinguisher, fire hose cabinet, fire alarm manual alarm devices, appliances, etc., or to the location of the hook-ups. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply can cause destruction delays and/or additional expenses.
- Z. Provide 1/2" thick solid plywood floor joists, 2x12's, 16" o.c. cantilevered, heavy timber, or log wall construction or shall provide protection from the intrusion of fumes and vapors in accordance with standard SFS 12-7-A1 (704.3.1.1), Comp'y w/ VFHZD requirements.
- Z Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VHFSSZ). It shall Comply with Requirements of Materials, systems and components listed in Chapter 72.
- Read VHFSSZ Supplemental Notes on sheet AR002.

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SHEET NUMBER	DATE	SEP. 2020	DRAWING TITLE	FIRST FLOOR PLAN
	SCALE	1/4" = 1'-0"	JOB TITLE	
	DRAWN BY	MM, GD, EL, JL	JOB ADDRESS	1816 RIAL LANE, LOS ANGELES, CA 90077
	JOB NUMBER		OWNER / DEVELOPER	OZKA LLC

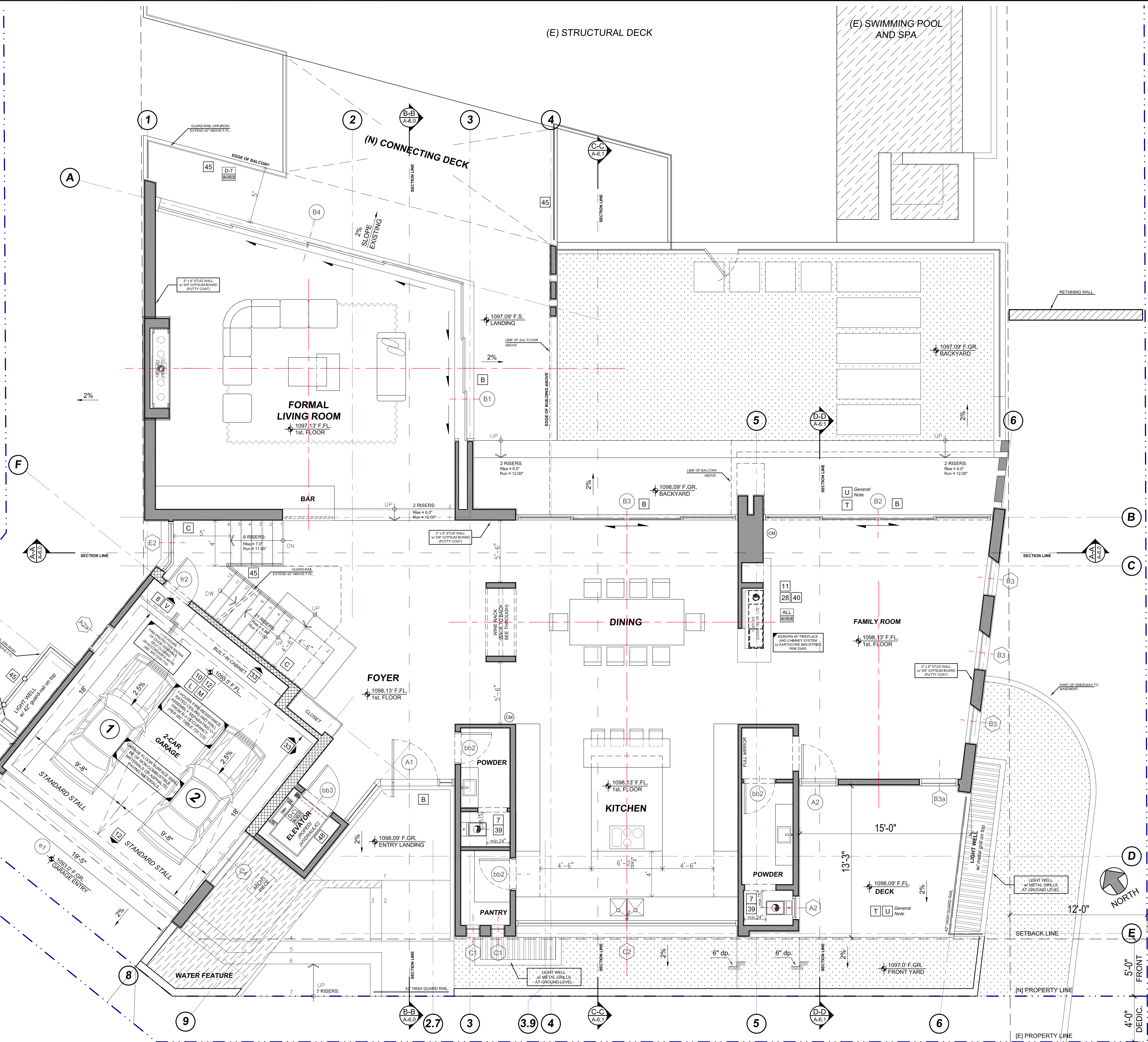
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- a. Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (7207.4, 1505)
- b. Valley floorings shall not be less than 0.019-inch (0.48 mm). (No. 26 gage) galvanized steel or noncombustible metal installed over a minimum 3/4-inch-wide (19 mm) underlayment consisting of one layer of No. 27 ASTM copper sheet roofing. (7207.4, 1505)
- c. Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter (7207.4, 1505)
- d. Eaves and soffits shall be constructed to resist the intrusion of flame and ember into the attic of the structure, or shall be protected by corrosion-resistant, noncombustible mesh with 1/4 inch (6.35 mm) openings or its equivalent. Vent pipes shall be protected in the same manner. (7207.4, 1505)
- e. Eaves and soffits shall meet the requirements of AS/NZS 1274-3.3 shall be protected by ignition-resistant material or noncombustible construction on the underside. (7207.4, 1505)
- f. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flame and ember into the attic of the structure. (7207.4, 1505)
- g. Exterior wall coverings shall extend from the top of the foundation to the roof, and terminate within 50 (1270) mm of the roofline. The coverings shall be of the following types:
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302. roof eaves
303. roof overhang

NOTE: Comply with all VHFHSZ requirements (Sheet A-N02)





SUPPLEMENTAL "VHFHSZ" NOTES:

- Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (7207.4.1505)
- Valley Roofs shall be not less than 0.019-inch (0.48 mm) [No. 26 galvanized sheet gage] corrosion-resistant metal installed over a minimum 3/4-inch-wide (19.4mm) underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley (705A.4)
- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter (705A.4)
- (Roof) (Attic) (Exterior wall) vents shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4 inch (6 mm) openings or its equivalent. Vents shall not be installed in eaves and cornices (704A.1, 704A.2, 704A.3, 7207.3)
- Eaves and soffits shall meet the requirements of SM 12-7A.3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside (707A.3.5)
- Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SM 12-7A-1 (707A.3.1)
- Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking between rafters at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure (704A.3.1)
- Exterior windows, window walls, glass doors, and glazed openings within exterior doors shall be insulated glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 257, or conform to the performance requirements of SM 12-7A2 (708A.2.1)
- Exterior door assemblies shall conform to the performance requirements of standard SM 12-7A-1 or shall be approved noncombustible construction, or solid core wood having ribs and ribs not less than 1 3/8 inches thick with interior field panel thickness not less than 1 3/8 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to AHJPA 252. (Exception: Noncombustible or exterior fire-retardant treated wood vehicle access doors) (708A.3)
- Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non-combustible or other approved materials per Sec. 709A.3
- The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior walls, or the projection shall be enclosed to the grade (707A.8)
- Buildings shall have all underfloor areas completely enclosed to the grade with construction as required for exterior walls (707A.8, 7207.1)
- All utilities, pipes, fununcues, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistance construction (7207.2)
- The space between the roof covering and roof decking shall be constructed to prevent the intrusion of flame and embers and be fire stopped per 705A.2
- No trellis is permitted within 10 feet of the primary structure.
- Trellis more than 10 feet from the primary structure shall be constructed of heavy timber or noncombustible materials. Minimum of 4 inches spacing is required between the members. (Information Bulletin # FBC 2017-023).

NOTE: Comply with all VHFHSZ requirements (Sheet A-N02)

2017 LARC BUILDING CODE REQUIREMENTS:

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170.159) (Separate plumbing permit is required).
- Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).
- Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4)
- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).
- Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. (Research Report not required). (R308.6.9)
- Water heater must be strapped to wall. (Sec. 507.3, LARC)
- For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 5'4" above the floor. (B109 of LABC)
- For existing pool on site, provide anti-entrapment cover meeting the current ASTM I, ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2977. (31628)
- Automatic garage door openers, if provided, shall be listed in accordance with UL 325 (R309.4)
- Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.2)
- Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.2)
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
- a. Copy of the evaluation report and/or conditions of listing shall be made available at the job site.

KEY NOTES

- 36" x 30" roof access hatch. (SEE DETAIL 2 & 4 SHEET A-10.7)
- 24" x 30" attic access.
- Attic access with pull down ladder.
- Screened under-floor vent.
- Under-floor access.
- Exhaust fan capable of providing five (5) complete air changes per hour. Vent exhaust fans to outside air (See mechanical plans).
- Provide self-closing device on Fire Rated door (see door schedule SHEET A-8.0).
- Line of exhaust hood above: Vent to outside with remote exhaust fans. Verify venting requirements with manufacturer specifications.
- Provide 5/8" type "X" gypsum board on all garage walls, ceiling, posts and beams supporting dwelling and shall extend from top of concrete to, and including garage ceiling. Fire blocking shall be installed at: (708.2.1)
  - Concealed space between stair stringers at top and bottom run.
  - At openings around vents, pipes, ducts, chimneys (non-combustible materials).
  - At openings between attic and chimneys chase for factory built chimneys;
- For garage door opener, push button shall be pre-wired before gypsum board is installed.
- 12" x 12" minimum access panel to bathtub trap connection with slip joints (94-B UPC); Solid trap at tubs without access panels must be provided.
- Electrical sub panel: See electrical plans.
- Built in cabinetry.
- Washer: Recessed hot and cold water and drain standpipe must be provided. Floor drain under washer must also be provided.
- Dryer: Weather hood vent with damper to outside air at roof must be provided. The vent duct shall be min. 4" dia. smooth galv. metal and is limited to 14'-0" with two elbows.
- Water softener.
- F.A.U. with right setback thermostat and summer fan switch: Combustion air vent and condensation line to outside air must be provided. If required, provide 20" plywood platform for unit (verify location with mechanical plans). See title 24 for size and model.
- Gas fired H-recovery water heater: storage tank with circulating pump and R-5 insulation: Verify with title 24. For lateral support in the event of an earthquake, secure to wall framing with metal straps at top and bottom. For water softener, provide plumbing loops. Note: Provide 18" min. high wood platform with 5/8" type "X" gypsum board finish. (SEE DETAIL 16 SHEET A-10.5)
- Phone panel: All lines to be home run.
- Tub/shower with stone on walls to ceiling height.
- Shower with stone on walls to ceiling height: Shower pan shall be hot mopped with 4" built up dam.
- Provide tempered glass shower enclosure - See specifications.
- Soap and shampoo niche.
- Built-in whirlpool tub: Deck, skirt and splash must be provided. As required, provide wood framed platform with access to equipment. Electrical sub-contractor shall provide electrical supply and connections as required.
- Steam shower - Mr. Steam model no. MS Super II: Enclosure shall be tempered glass with hopper window above door. (Finish ceiling with same material as walls and slope 1/2" per 1'-0"). Install steam unit per MRF recommendations.
- Pre-fabricated fireplace units: ISCCO fireplace and chimney system by EARTHCOORE INDUSTRIES, R#R# 25483. Fuel gas and loose key valve must be provided. Approved spark arrester at chimney termination must also be provided. Provide combustion air intake as required and glass enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.11)
- Metal firebox with herringbone brick pattern & Selkirk metalbestos #SSII flue system built in accordance with the structural plans. Provide combustion air as required. Provide fuel gas with loose key valve. Provide glass enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.11)
- Verify with owner if "Instant-hot" dispenser and water filtration system shall be provided.
- Provide purified cold water supply line to ice-maker with recessed shut off valve. Verify with manufacturer.
- Cooking Pot filler faucet. (Location: Kitchen).**
- 1-hour fire-resistance-rated wall separating U from R-3 occupancy (per IBC T 720.1(2)).
- 2-hours fire-resistance-rated wall separating S-2 from R-3 occupancy (per IBC T 720.1(2)).
- 2-hours fire-resistance-rated floor/ceiling assembly separating S-2 from R-3 occupancy (per IBC Table 720.1(5)).
- Archway/dormer above (See elevations).
- GPX Door Assembly with SuperLite II-XL by "Safi First", R#R# 25786
- Decorative niche. Verify owner's requirements.
- Provide 15" minimum between the center of water closet to any side wall and 24" clear space in front.
- Provide spark arrester in chimneys of all fire places w/ openings not to exceed 1/2 inches. Fire code section 1109.7 and U.B.C. section 6403.5 & section 3102.3.8 U.B.C. section (max. 1/2 inch screen).
- 
- Wet bar should NOT include any of the following items: natural gas outlet, 220 AC outlet, double sink, bar sink exceeding one sq.foot, hot water line, refrigerator exceeding 10 cu.ft., garbage disposal, dishwasher, device designed for cooking or heating of food, total counter space exceeding 10 sq. feet. Counter finish per owner's requirements.
- Built-in shelving, verify with owner's.
- 
- Provide 42" guardrails with less than 4" clear spacing between intermediate rails when the walking surface is higher than 30" above adjacent grade.
- Tempered Glass "T"
- 
- Elevator Requirements: Ensure that pit depth and overhead clearances is in accordance with ASME A17.1 requirements. Separate mechanical permit is required for elevator.

GENERAL FLOOR PLAN NOTES

- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (1205.1 & 1205.3). Every space intended for human occupancy shall be provided with natural ventilation by means of operable exterior wall openings not less than 4% of floor area. Mechanical ventilating systems may be permitted under Section 1204.3.
- Entry/exit door must open over a landing not more than 0.5' below the threshold. If the door does NOT swing over the landing, landing shall be not more than 7.75' below the threshold. Landing at a door shall have a length measured in the direction of travel of not less than 36".
- Stairways dimensions and construction:
  - Maximum 7.75' & Minimum 4' rise - Minimum 10" run. (SEE DETAIL 1, 2 & 3 SHEET A-10.3)
  - Minimum 6'-6" vertical headroom at tread nosing.
  - Minimum 36" clear width.
  - Handrails 34" to 38" high.
  - Provide stairway illumination. Min. 1 foot-candle at tread run
- State Fire Marshal approved smoke alarms (detectors) as shown must be provided. Smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. Smoke detectors shall be located in each sleeping room and hallway or area giving access to a sleeping room, and on each story and basement. A smoke detector shall be located in close proximity to stairways when sleeping areas are on upper level. Detectors shall sound an alarm audible in all sleeping areas of the dwelling unit which they serve. Smoke alarms shall be interconnected so that actuation of one alarm will actuate all the alarms within the individual dwelling unit.
- Provide and Grout/Finish within the first 9 ft. measured from grade at exterior walls and doors.
- Upon review if structural plans may not show non-structural framing, rough carpenter to review all architectural sheets for clear understanding of work to be included in bid.
- Refer to reflected ceiling plans, building sections and interior elevations for turned ceilings.
- All exterior and interior studs shall be 2 x 8 framing or multiple rows of 2 x 6's unless otherwise noted. Spacing and specifications per structural engineer.
- As required by Current Building Code, draft stops must be provided. Enclosed spaces in stud wall, partitions and turned walls shall have fire stops at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.
- Insulation: Provide R-19 Min. Insulation at all exterior walls, including garage. Provide R-30 min. insulation in attic spaces. Refer to title 24 for additional requirements. Provide R-19 insulation at all interior walls and R-30 insulation between floors for sound control. Insulate around plumbing pipes.
- Attic ventilation equal to 1/150 s.f. of attic area is required.
- Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48mm) sheet steel and shall have no openings into the garage. 408.14
- Garage floor surface shall be of noncombustible materials or asphaltic paving materials. Garage walls and garage ceiling shall be 1-HR. Fire Rated.
- Building shall be fully sprinklered per NFPA 13d. The Sprinkler System shall be automatic type and approved by Plumbing Division prior to installation.
- Draft stop shall be provided in a concealed floor-ceiling assembly formed of combustible construction, unless the building is sprinklered with NFPA 13 sprinkler system (1000 sf between draft stops) (717.3.2.8.3).
- Provide damp-proofing for all walls below grade that enclose usable space." Specify Research Report (RR# or IBC-28) for membrane
- Water Heater must be strapped to wall (Sec.507.3, UPC). (SEE DETAIL 16 SHEET A-10.5)
- Provide 70 inch high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure." 91.807.1.3, 91.2408.4(5), 91.115B.6.6.7.8
- A corrosion resistant weep screen is required below the stucco minimum of 4" above exterior and at mid-point in walls more than 10 feet high. Verify with structural plans.
- All flat roofs, decks, balconies shall slope a minimum of 2% toward drains. 1508.1 & 1611
- Use a class A, fire-retardant flat roof and deck covering per Section 1505.1 and T1505.1. Use Enduro-Kote and Enduro-Flex Kote by "Enduro Products, Inc.". Class "A" fire retardant walking deck and roof covering. LARR # 25261. (SEE SHEET A-RR01)
- 20 minutes Fire Rated Door (Solid core tight fitting). Self-Closing and Self-Latching Device. GPX Door Assembly with SuperLite II-XL by "Safi First", R#R# 25786 (SEE SHEET A-RR01)
- 90 minutes Fire Rated Door (Solid core tight fitting). Self-Closing and Self-Latching Device. GPX Door Assembly with SuperLite II-XL by "Safi First", R#R# 25786 (SEE SHEET A-RR01)
- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SM 12-7A-1 (704A.3.1). Comply w/ VHFHSZ requirements.
- Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VHFHSZ). It shall Comply with requirements of Materials, systems & construction methods of Chapter 7A and Chapter 72. Read VHFHSZ Supplemental Notes on sheet A-N02.

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CONSULTING ARCHITECTS & ENGINEERS  
6334 WILSHIRE BLVD. LOS ANGELES, CA 90048  
TEL (323) 651-0047 FAX (323) 655-6416



NO.	DATE	DESCRIPTION
1	SEPT. 2020	

NO.	DATE	DESCRIPTION
1	SEPT. 2020	

NO.	DATE	DESCRIPTION
1	SEPT. 2020	

NO.	DATE	DESCRIPTION
1	SEPT. 2020	

NO.	DATE	DESCRIPTION
1	SEPT. 2020	

NO.	DATE	DESCRIPTION
1	SEPT. 2020	

DATE: SEP. 2020

SCALE: 1/4" = 1'-0"

DRAWN BY: MM, GD, EL, JL

JOB ADDRESS: 1815 RIAL LANE, LOS ANGELES, CA 90077

OWNER/DEVELOPER: OZKA LLC

JOB NUMBER: A-2.0

SHEET NUMBER: A-2.0



SUPPLEMENTAL "VFHSZ" NOTES:

- Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (7207.4, 1505)
- Valley flashings shall be not less than 0.0194-inch (0.48 mm) [No. 26 galvanized sheet gage] corrosion-resistant metal installed over a minimum 3/4-inch-wide (19.0mm) underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley (705A.3)
- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter (705A.4)
- (Roof) (Attic) (Exterior wall) vents shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4 inch (6.35 mm) openings or its equivalent. Vents shall not be installed in eaves and cornices (706A.1, 706A.2, 706A.3, 7207.3)
- Eaves and soffits shall meet the requirements of SM 12-7A-3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside (707A.5.5)
- Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SM 12-7A-1 (707A.3.1)
- Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking between rafters at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure (704A.3.1)
- Exterior windows, window walls, glaze doors, and glazed openings within exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 257, or conform to the performance requirements of SM 12-7A2 (708A.2.1)
- Exterior door assemblies shall conform to the performance requirements of standard SM 12-7A-1 or shall be approved noncombustible construction, or solid core wood having tiles and rails not less than 1 3/8 inches thick with interior field panel thickness not less than 1 3/8 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to ASHRA 252. (Exception: noncombustible or exterior fire-retardant treated wood vehicle access doors) (708A.3)
- Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non-combustible or other approved materials per Sec. 709A.3
- The underside of cantilevered and overhanging appendages and floor projections shall maintain the fire-resistance integrity of exterior walls, or the projection shall be enclosed to the grade (707A.8)
- Buildings shall have all underfloor areas completely enclosed to the grade with construction as required for exterior walls (707A.8, 7207.1)
- All utilities, pipes, fumances, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistance construction (7207.2)
- The space between the roof covering and roof decking shall be constructed to prevent the intrusion of flames and embers and be stopped per 705A.2
- No trellis is permitted within 10 feet of the primary structure
- Trellis more than 10 feet from the primary structure shall be constructed of heavy timber or non-combustible materials. Minimum of 4 inches spacing is required between the members. (Information Bulletin No. P/BC 2017-023)

NOTE: Comply with all VFHSZ requirements (Sheet A-N02)

2017 LARC BUILDING CODE REQUIREMENTS:

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170.158) (Separate plumbing permit is required).
- Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R303.3).
- Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4)
- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).
- Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. (Research Report not required). (R308.6.5)
- Water heater must be strapped to wall. (Sec. 507.3, LARC)
- For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate for 15 secs. max.) for a single opening. The deactivation switch shall be at least 5'4" above the floor. (6109 of LARC)
- For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No.2977, (31628)
- Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.6.2)
- Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.2)
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
- A copy of the evaluation report and/or conditions of listing shall be made available at the job site.

KEY NOTES

- 36" x 30" roof access hatch. (SEE DETAIL 2 & 4 SHEET A-10.7)
- 24" x 30" attic access.
- Attic access with pull down ladder.
- Screened under-floor vent.
- Under-floor access.
- Exhaust fan capable of providing five (5) complete air changes per hour. Vent exhaust fans to outside air. (See mechanical plans)
- Provide self-closing device on Fire Rated door (see door schedule SHEET A-8.0).
- Line of exhaust hood above: Vent to outside with remote exhaust fans. Verify venting requirements with manufacturer specifications.
- Provide 5/8" type "X" gypsum board on all garage walls, ceiling, posts and beams supporting dwelling and shall extend from top of concrete to, and including garage ceiling.
- Fire blocking shall be installed at: (708.2.1)
  - Concealed space between stair stringers at top and bottom run.
  - At openings around vents, pipes, ducts, chimneys (non-combustible materials).
  - At openings between attic and chimneys chase for factory built chimneys.
- For garage door opener, push button shall be pre-wired before gypsum board is installed.
- 12" x 12" minimum access panel to bathtub trap connection with slip joints (8-4-8 UPC): Solid trap at tubs without access panels must be provided.
- Electrical sub panel: See electrical plans.
- Built in cabinetry.
- Washer: Recessed hot and cold water and drain standpipe must be provided. Floor drain under washer must also be provided.
- Dryer: Weather hood vent with damper to outside air at roof must be provided. The vent duct shall be min. 4" dia. smooth gage metal and is limited to 14'-0" with two elbows.
- Water softener.
- F.A.U. with right setback thermostat and summer fan switch: Combustion air vent and condensation line to outside air must be provided. If required, provide 20" plywood platform for unit (verify location with mechanical plans). See title 24 for size and model.
- Gas fired hot-recovery water heater storage tank with circulating pump and R-6 insulation: Verify with title 24. For lateral support in the event of an earthquake, secure wall framing with metal straps at top and bottom. For water softener, provide plumbing loops. Note: Provide 18" min. high wood platform with 5/8" type "X" gypsum board finish. (SEE DETAIL 16 SHEET A-10.5)
- Phone panel: All lines to be home run.
- Tall shower with stone on walls to ceiling height.
- Shower with stone on walls to ceiling height: Shower pan shall be hot mopped with 4" built up dam.
- Provide tempered glass shower enclosure - See specifications.
- Soap and shampoo niche.
- Built-in whirlpool tub: Deck, skirt and splash must be provided. As required, provide wood framed platform with access to equipment. Electrical sub-contractor shall provide electrical supply and connections as required.
- Steam shower - Mr. Steam model no. MS Super II: Enclosure shall be tempered glass with hopper window above door. (Finish ceiling with same material as walls and slope 0" per 1'-0"). Install steam unit per MRF recommendations.
- Pre-fabricated fireplace units (BOKER 48" fireplace and chimney system by EARTHORE INDUSTRIES, REF# 2545). Fuel gas and loose key valve must be provided. Approved spark arrester at chimney termination must also be provided. Provide combustion air intake as required and glass enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.8)
- Metal fender with herringbone brick pattern & Solvite materials #SS11 flue system built in accordance with the structural plans. Provide combustion air as required. Provide fuel gas with loose key valve. Provide glass enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.11)
- Verify with owner if hot water dispenser and water filtration system shall be provided.
- Provide purified cold water supply line to ice-maker with recessed shut off valve. Verify with manufacturer.
- Cooking Pot filler faucet. (Location: Kitchen).
- 1-hour fire-resistance-rated wall separating U from R-3 occupancy (per IBC T 720.1(2)).
- 2-hours fire-resistance-rated wall separating S-2 from R-3 occupancy (per IBC T 720.1(2)).
- 2-hours fire-resistance-rated floor/ceiling assembly separating S-2 from R-3 occupancy (per IBC Table 720.1(3)).
- Archway/dormer above (See elevations).
- GPX Door Assembly with SuperLite II-XL by "Saffi First". RFR# 25786
- Decorative niche. Verify owner's requirements.
- Provide 15" minimum between the center of water closet to any side wall and 24" clear space in front.
- Provide spark arrester in chimneys of all fire places w openings not to exceed 1/2 inches. Fire code section 1109.7 and U.B.C. section 6403.5 & section 3102.3.8 U.B.C. section (max. 1/2 inch screen).
- Wet bar should NOT include any of the following items: natural gas outlet, 220 AC el. outlet, double sink, bar sink exceeding one sq. foot, hot water line, refrigerator exceeding 10 cub. ft., garbage disposal, dishwasher, device designed for cooking or heating of food, total counter space exceeding 10 sq. feet. Counter finish per owner's requirements.
- Built-in shelving, verify with owner's.
- 
- Provide 42" guardrails with less than 4" clear spacing between intermediate rails when the walking surface is higher than 30" above adjacent grade.
- Tempered Glass "T"
- Elevator Requirements: Ensure that pit depth and overhead clearance is in accordance with ASME A17.1 requirements. Separate mechanical permit is required for elevator.

GENERAL FLOOR PLAN NOTES

- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (1205.1 & 1205.3). Every space intended for human occupancy shall be provided with natural ventilation by means of operable exterior wall openings not less than 4% of floor area. Mechanical ventilating systems may be permitted under Section 1204.3).
- Entry/exit door must open over a landing not more than 0.5' below the threshold. If the door does NOT swing over the landing, landing shall be not more than 7.75' below the threshold. Landing at a door shall have a length measured in the direction of travel of no less than 36".
- Stairways dimensions and construction:
  - Maximum 7.75' & Minimum 4" rise - Minimum 10" run. (SEE DETAIL 1.2 & 3 SHEET A-10.3)
  - Minimum 6'-4" vertical headroom at tread nosing.
  - Minimum 36" clear width.
  - Handrails 34" to 38" high.
  - Provide stairway illumination. Min. 1 foot-candle at tread run.
- State Fire Marshal approved smoke alarms (detectors) as shown must be provided. Smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. Smoke detectors shall be located in each sleeping room and hallway or area giving access to a sleeping room, and on each story and basement. A smoke detector shall be located in close proximity to stairways when sleeping areas are on upper level. Detectors shall sound an alarm audible in all sleeping areas of the dwelling unit which they serve. Smoke alarms shall be interconnected so that actuation of one alarm will actuate all the alarms within the individual dwelling unit.
- Provide anti-graffiti finish within the first 9 ft. measured from grade at exterior walls and doors.
- Upon review if structural plans may not show non-structural framing, rough carpenter to review all architectural sheets for clear understanding of work to be included in bid.
- Refer to reflected ceiling plans, building sections and interior elevations for turned ceilings.
- All exterior and interior studs shall be 2 x 6 framing or multiple rows of 2 x 6's unless otherwise noted. Spacing and specifications per structural engineer.
- As required by Current Building Code, draft stops must be provided. Enclosed spaces in stud wall, partitions and turned walls shall have fire stops at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.
- Insulation: Provide R-19 Min. Insulation at all exterior walls, including garage. Provide R-30 min. insulation in attic spaces. Refer to title 24 for additional requirements. Provide R-19 insulation at all interior walls and R-30 insulation between floors for sound control. Insulate around plumbing pipes.
- K. Attic ventilation equal to 1/150 s.f. of attic area is required.
- L. Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.0194-inch (0.48mm) sheet steel and shall have no openings into the garage. 406.14
- M. Garage floor surface shall be of noncombustible materials or asphaltic paving materials. Garage walls and garage ceiling shall be 1-HR. Fire Rated.
- N. Building shall be fully sprinkled per NFPA 1341. The Sprinkler System shall be automatic type and approved by Plumbing Division prior to installation.
- N-1. Draft stop shall be provided in a concealed floor-ceiling assembly formed of combustible construction, unless the building is sprinkled with NFPA 13 sprinkler system (1000 sf between draft stops) (717.3.2.3).
- O. Provide damp-proofing for walls below grade that enclose usable space." See Study Research Report (RFR) or (CBO) for membrane.
- P. Water Heater must be strapped to wall (Sec.507.3, UPC). (SEE DETAIL 16 SHEET A-10.5)
- Q. Provide ultra flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- R. Provide 70 inch high nonabsorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure. 91.807.1.3, 91.2406.4(5), 91.11568.9.6.7.8
- S. A corrosion resistant weep screen is required below the stucco minimum of 4" above earth or 2" above paved area 91.2506.05 (SEE DETAIL 5 & 8 SHEET A-10.5)
- T. All flat roofs, decks, balconies shall slope a minimum of 2% toward drains. 1505.1 & 1611
- U. Provide a class A, fire-retardant flat roof and deck covering per Section 1505.1 and T1505.1. Use Enduro-Kote and Enduro-Flex Kote by "Enduro Products, Inc.". Class "A" fire retardant walking deck and roof covering. LARR # 252681. (SEE SHEET A-RR01)
- V. 20 minutes Fire Rated Door (Solid core tight fitting). Self-Closing and Self-Latching Device. GPX Door Assembly with SuperLite II-XL by "Saffi First". RFR# 25786 (SEE SHEET A-RR01)
- W. 90 minutes Fire Rated Door (Solid core tight fitting). Self-Closing and Self-Latching Device. GPX Door Assembly with SuperLite II-XL by "Saffi First". RFR# 25786 (SEE SHEET A-RR01)
- X. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- Y. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SM 12-7A-1 (704A.3.1). Comply w VFHSZ requirements.
- Z. Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VFHSZ). It shall comply with requirements of Materials, systems & construction methods of Chapter 7A and Chapter 72. Read VFHSZ Supplemental Notes on sheet A-N02.

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CONSULTING ARCHITECTS & ENGINEERS  
4334 WILSHIRE BLVD. LOS ANGELES CA 90048  
(323) 651-0067 FAX (323) 655-8416



NO.	DATE	DESCRIPTION
1	SEPT. 2020	

DRAWING TITLE	JOB TITLE
BASEMENT FLOOR PLAN	
DATE	SCALE
SEP. 2020	1/4" = 1'-0"
DRAWN BY	CHECKED BY
MM, GD, EL, JL	
JOB ADDRESS	OWNER / DEVELOPER
1815 RIAL LANE, LOS ANGELES, CA 90077	OZKA LLC
JOB NUMBER	

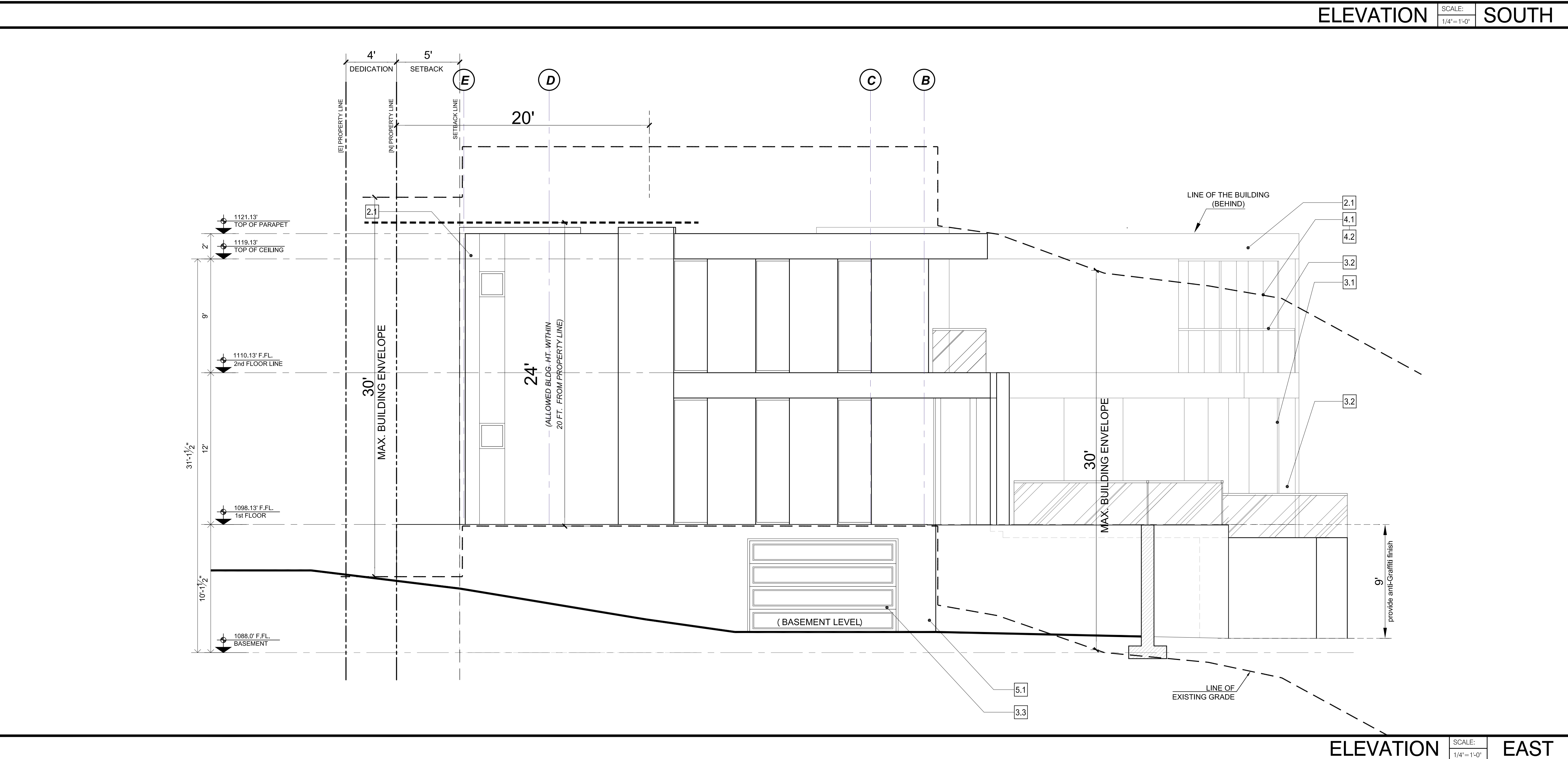
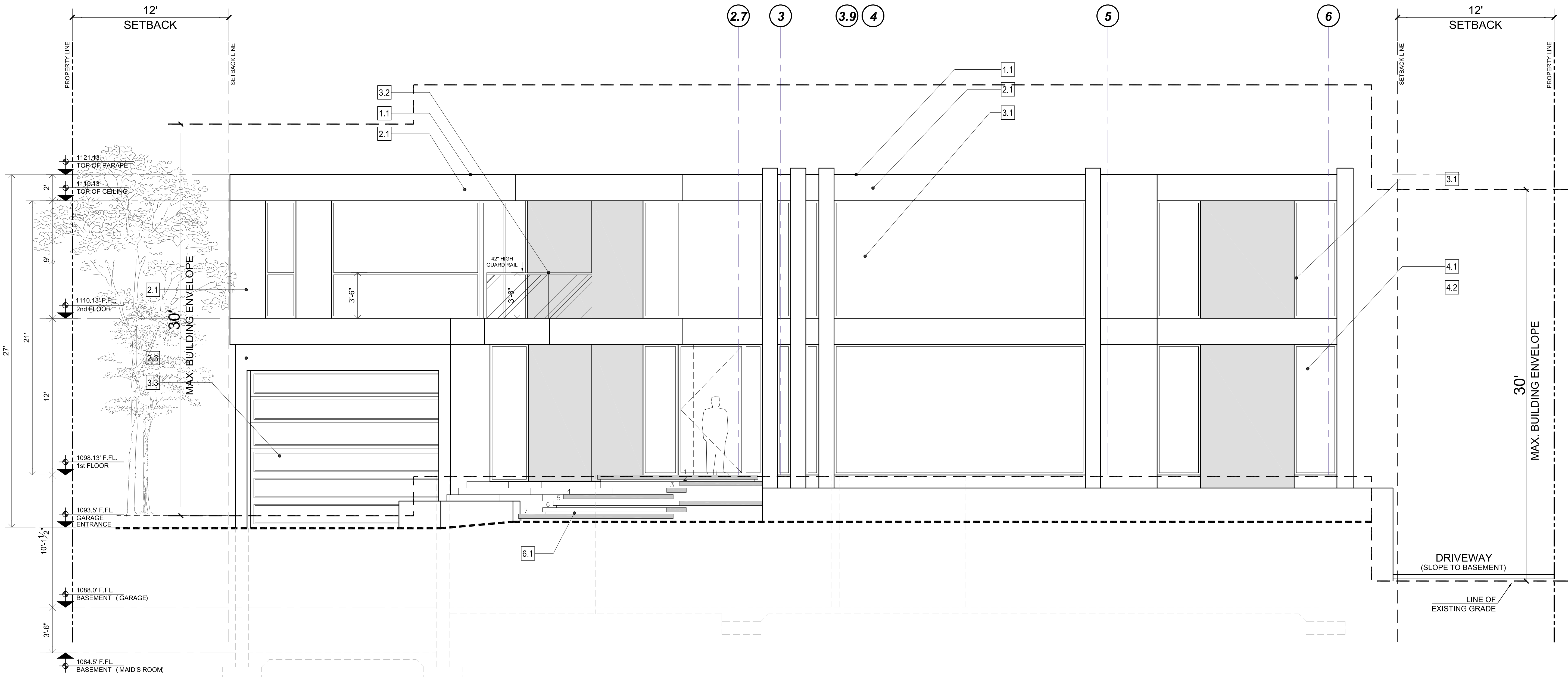
**SHEET NUMBER**  
**A-3.0**



- KEY NOTES**
- 1 - ROOF**
- 1.1 Built-up Roofing
- 2 - FINISHES**
- 2.1 Exterior Wall finish by Merlex Stucco  
1 1/2" P-122
- 2.2 1/2" x 4" Horizontal Board "Red Wood"
- 2.3 Concrete Finish
- 2.4 Stone Veneer by Coronado Stone  
Type: Country Castle  
Color: Lompoc
- 3 - METAL**
- 3.1 Aluminum Framing (Doors and Windows)
- 3.2 Stainless Steel Railing
- 3.3 Steel Insulated Sectional Garage Door
- 4 - GLASS**
- 4.1 Tempered Glass (Typical)
- 4.2 Insulated Glass
- 4.3 Glass Railing Panels  
Glass shall be 1/2" Thk. Minimum
- 5 - MASONRY**
- 5.1 Block Wall
- 5.2 Retaining Wall
- 6 - LIGHTING**
- 6.1 Illuminated Steps
- NOTE:**  
Provide anti-Graffiti finish within the first 9 ft. measured from grade at exterior walls and doors.

- SUPPLEMENTAL "VHFHSZ" NOTES:**
- a. Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (7207.4, 1505)
- b. Valley flashings shall be not less than 0.0154inch (0.48 mm) (No. 26 galvanized steel gage) corrosion-resistant metal installed over a minimum 36inch-wide (914mm) underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley (705A.3)
- c. Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter (705A.4)
- d. (Roof) (Attic) (Exterior wall) vents shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4 inch (6 mm) openings or its equivalent. Vents shall not be installed in eaves and cornices (706A.1, 706A.2, 706A.3, 7207.3)
- e. Eaves and soffits shall meet the requirements of SFM 12-7A-3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside (707A.5.3)
- f. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (707A.3.1)
- g. Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking between rafters or all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure (704A.3.1)
- h. Exterior windows, window walls, glaze doors, and glazed openings within exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 257, or conform to the performance requirements of SFM 12-7A2 (708A.2.1)
- i. Exterior door assemblies shall conform to the performance requirements of standard SFM 12-7A-1 or shall be approved noncombustible construction, or solid core wood having tiles and rails not less than 1 3/8 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to AS/NFPA 252. (Exception: Noncombustible or exterior fire-retardant treated wood vehicle access doors) (708A.3)
- j. Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non-combustible or other approved materials per Sec.709A.3
- k. The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior wall, or the projection shall be enclosed to the grade (707A.8)
- l. Buildings shall have all under-floor areas completely enclosed to the grade with construction as required for exterior walls (707A.8, 7207.1)
- m. All utilities, pipes, furnaces, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction (7207.2)
- n. The space between the roof covering and roof decking shall be constructed to prevent the intrusion of flames and embers and be fire stopped per 705A.2
- o. No trellis is permitted within 10 feet of the primary structure.
- p. Trellis more than 10 feet from the primary structure shall be constructed of heavy timber or non-combustible materials. Minimum of 4 inches spacing is required between the members. (Information Bulletin No. P/BC 2017-023)
- NOTE:** Comply with all VHFHSZ requirements (Sheet A-N02)

- GLAZING NOTES:**
1. Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R308.3 (see exceptions) (R308.4):
- a. Fixed and operable panels of windows, sliding and fold-down door assemblies.
- b. Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface.
- c. Glazing in an individual fixed or operable panel that meets all of the following conditions:
- 1) Exposed area of an individual pane greater than 9 square feet.
- 2) Bottom edge less than 18 inches above the floor.
- 3) Top edge greater than 36 inches above the floor.
- 4) One or more walking surfaces within 36 inches horizontally of the glazing.
- d. Glazing in railings.
- e. Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.
- f. Glazing in walls and fences adjacent to indoor and outdoor swimming pools, hot tubs and spas where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.
- g. Glazing adjacent to stairways, landings and ramps within 36 inches horizontally of a walking surface when the surface of the glazing is less than 60 inches above the plane of the adjacent walking surface.
- h. Glazing adjacent to stairways within 60 inches horizontally of the bottom tread of a stairway in any direction when the exposed surface of the glazing is less than 60 inches above the nose of the tread.



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CONSULTING ARCHITECTS & ENGINEERS  
4334 WILSHIRE BLVD. LOS ANGELES CA 90048  
TEL (323) 651-0007 FAX (323) 655-6416



NO.	DATE	DESCRIPTION
1	SEP. 2020	
2		
3		
4		
5		
6		

DATE	DRAWING TITLE	JOB TITLE	JOB ADDRESS	OWNER / DEVELOPER
SEP. 2020	SOUTH & EAST ELEVATIONS		1815 RIAL LANE, LOS ANGELES, CA 90077	OZKA LLC
SCALE	SCALE	DRAWN BY	JOB NUMBER	
1/4" = 1' - 0"	1/4" = 1' - 0"	MM, GD, EL, JL		
SHEET NUMBER	A-5.0			



KEY NOTES

1 - ROOF

1.1 Built-up Roofing

2 - FINISHES

2.1 Exterior Wall finish by Merlex Stucco 1 1/2 P-122"

2.2 1/2" x 4" Horizontal Board "Red Wood"

2.3 Concrete Finish

2.4 Stone Veneer by Coronado Stone Type: Country Castle Color: Lompoc

3 - METAL

3.1 Aluminum Framing (Doors and Windows)

3.2 Stainless Steel Railing

3.3 Steel Insulated Sectional Garage Door

4 - GLASS

4.1 Tempered Glass (Typical)

4.2 Insulated Glass

4.3 Glass Railing Panels shall be 1" Thick, Minimum

5 - MASONRY

5.1 Block Wall

5.2 Retaining Wall

6 - LIGHTING

6.1 Illuminated Steps

NOTE: Provide anti-Graffiti finish within the first 9 ft. measured from grade at exterior walls and doors.

SUPPLEMENTAL "VHFHSZ" NOTES:

a. Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (7207.4, 1058)

b. Valley flashings shall be not less than 0.019-inch (0.48 mm) (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 36-inch-wide (914 mm) underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley (705A.3)

c. Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter (705A.4)

d. (Roof) (Aflrc) (Exterior wall) vents shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4 Binch (6 mm) openings, or its equivalent. Vents shall not be installed in eaves and cornices (706A.1, 706A.2, 706A.3, 7207.3)

e. Eaves and soffits shall meet the requirements of SFW 12-7A-3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside (707A.5.5)

f. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFW 12-7A-1 (707A.3.1)

g. Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 24-inch (508 mm) nominal solid wood blocking between rafters of all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure (704A.3.1)

h. Exterior windows, window walls, glaze doors, and glazed openings within exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 257, or conform to the performance requirements of SFW 12-7A2 (706A.2.1)

i. Exterior door assemblies shall conform to the performance requirements of standard SFW 12-7A-1 or shall be approved noncombustible construction, or solid core wood having stiles and rails not less than 1 3/8 inches thick with interior field panel thickness not less than 1 3/8 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to AS/NFPA 252. (Exception: Noncombustible or exterior fire-retardant treated wood vehicle access door) (706A.3)

j. Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non-combustible or other approved materials per Sec. 709A.3

k. The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior walls, or the projection shall be enclosed to the grade (707A.8)

l. Buildings shall have all underfloor areas completely enclosed to the grade with construction as required for exterior walls (707A.8, 7207.1)

m. All utilities, pipes, furnaces, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction (7207.2)

n. The space between the roof covering and roof decking shall be constructed to prevent the intrusion of flames and embers and be fire stopped per 705A.2.

o. No trellis is permitted within 10 feet of the primary structure.

p. Trellis more than 10 feet from the primary structure shall be constructed of heavy timber or non-combustible materials. Minimum of 4 inches spacing is required between the members. (Information Bulletin No. P/BC 2017-023).

NOTE: Comply with all VHFHSZ requirements (Sheet A-N02)

GLAZING NOTES:

1. Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R308.3 (see exceptions) (R308.4):

a. Fixed and operable panels of swinging, sliding and bi-fold door assemblies.

b. Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface.

c. Glazing in an individual fixed or operable panel that meets all of the following conditions:

1) Exposed area of an individual pane greater than 9 square feet.

2) Bottom edge less than 18 inches above the floor.

3) Top edge greater than 36 inches above the floor.

4) One or more walking surfaces within 36 inches horizontally of the glazing.

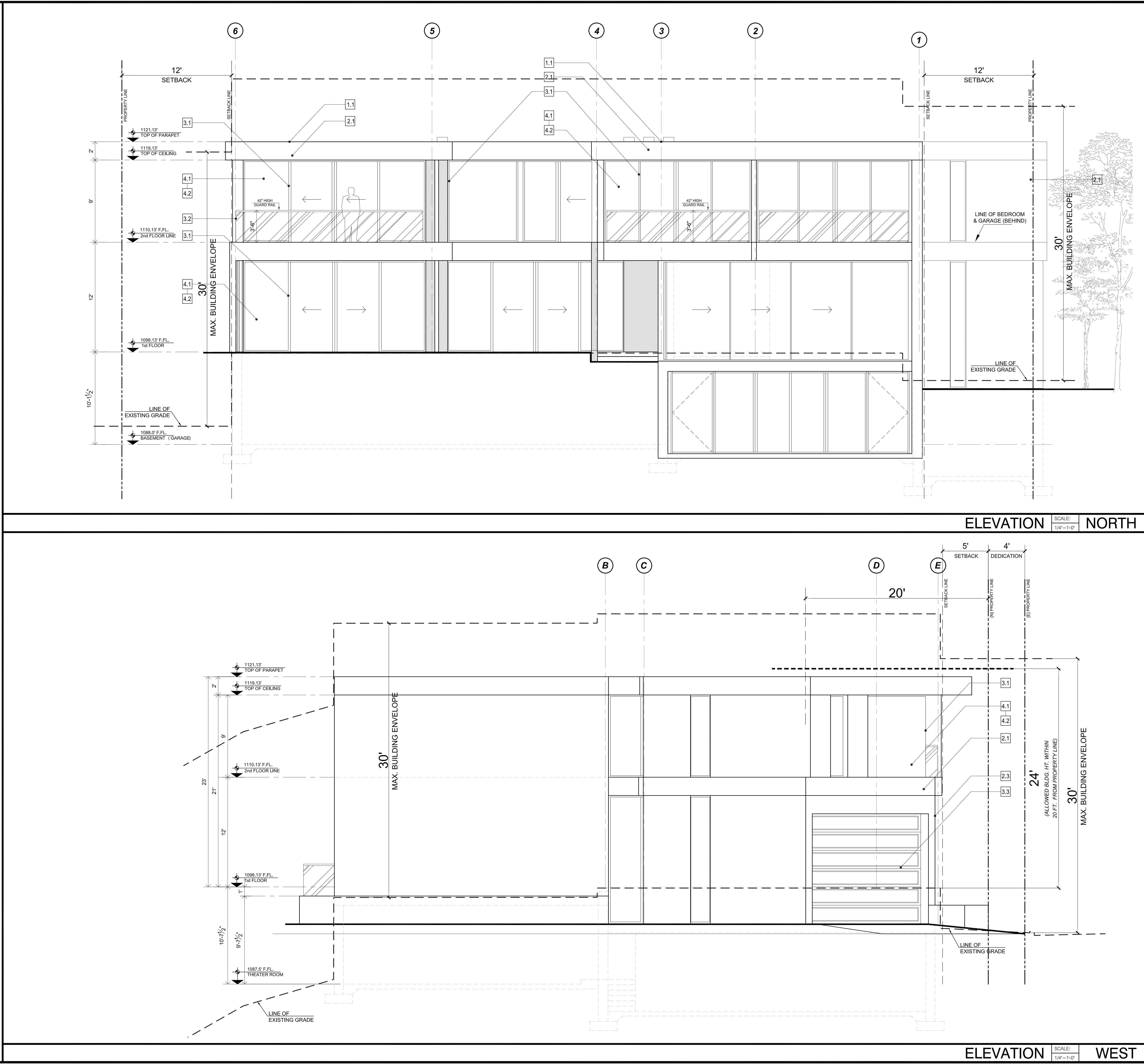
d. Glazing in railings.

e. Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.

f. Glazing in walls and fences adjacent to indoor and outdoor swimming pools, hot tubs and spa where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.

g. Glazing adjacent to stairways, landings and ramps within 36 inches horizontally of a walking surface when the surface of the glazing is less than 60 inches above the plane of the adjacent walking surface.

h. Glazing adjacent to stairways within 60 inches horizontally of the bottom tread of a stairway in any direction when the exposed surface of the glazing is less than 60 inches above the nose of the tread.



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CONSULTING ARCHITECTS & ENGINEERS

4334 WILSHIRE BLVD. LOS ANGELES CA 90048

TEL. (323) 651-0907 FAX (323) 655-6416

REGISTERED ARCHITECT

NO. 013571

EXP. 10/31/21

STATE OF CALIFORNIA

NO.	DATE	DESCRIPTION
1	SEP. 2020	—
2		
3		
4		
5		
6		

DRAWING TITLE

WEST AND NOTH ELEVATIONS

JOB TITLE

JOB ADDRESS

1815 RIAL LANE, LOS ANGELES, CA 90077

OWNER / DEVELOPER

OZKA LLC

DATE

SEP. 2020

SCALE

1/4" = 1' - 0"

DRAWN BY

MM, GD, EL, JL

JOB NUMBER

SHEET NUMBER

A-5.1

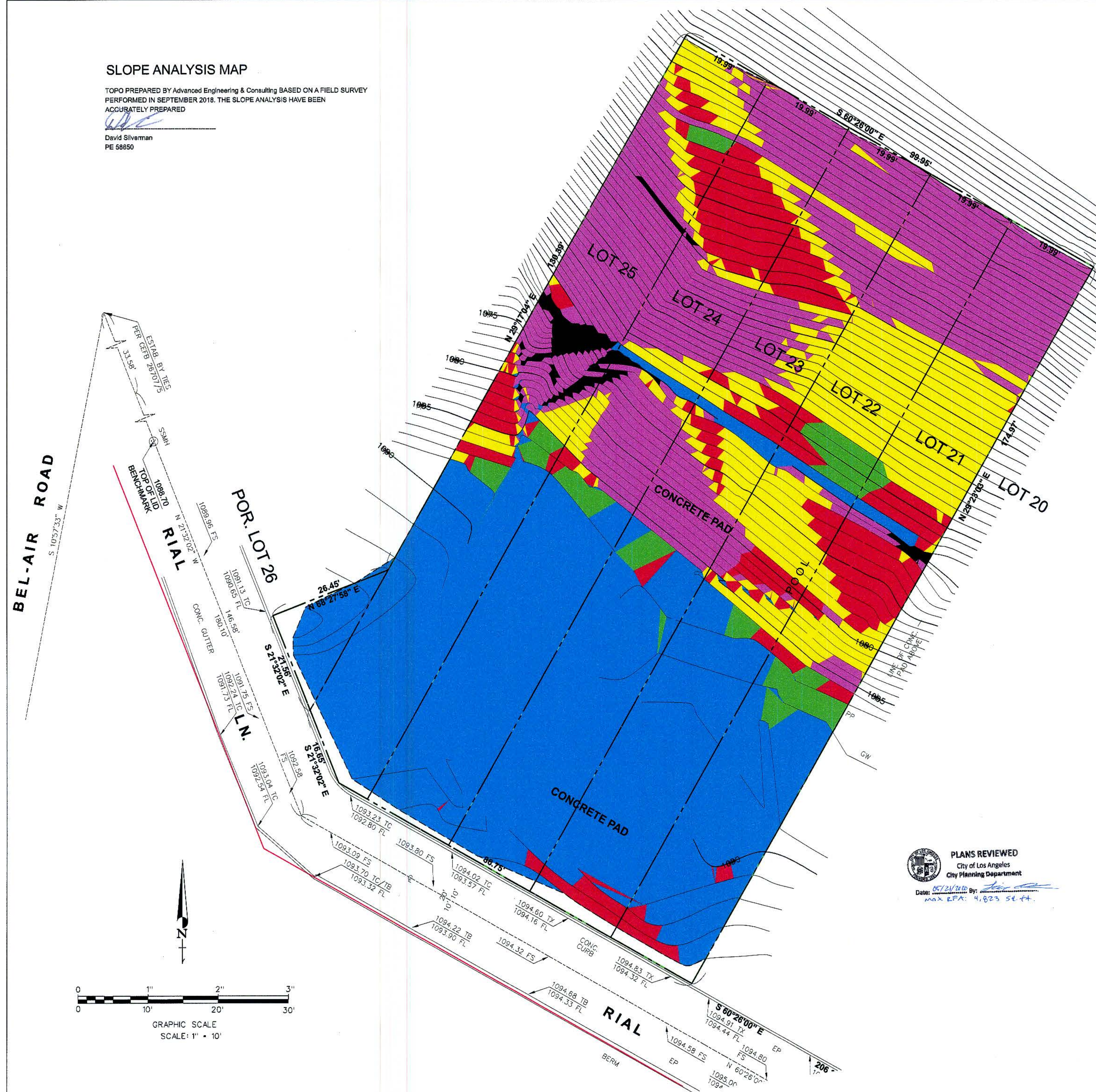
09/20/2020 10:08:14 AM



# SLOPE ANALYSIS MAP

TOPO PREPARED BY Advanced Engineering & Consulting BASED ON A FIELD SURVEY PERFORMED IN SEPTEMBER 2018. THE SLOPE ANALYSIS HAVE BEEN ACCURATELY PREPARED

David Silverman  
PE 58650



## Department of Building and Safety / City Planning Slope Analysis and Maximum Residential Floor Area Verification Form

SECTION I. Name Applicant(s) / Property Owner(s):  
Address: Phone Number:

SECTION II. Project Address: 1816 RIAL LN  
Lot: 1033 APN: 4371-002-005

Proposed Project Description: (describe proposed work in detail)  
Single-Family Home

SECTION III. Circle the Zone of the project site in Table 1 or Table 2 and complete Worksheet 1.

Slope Bands (%)	R1	RS	RE9	RE11	RE15	RE20	RE40	RA
0 - 14.99	0.45	0.45	0.40	0.40	0.35	0.35	0.35	0.25
15 - 29.99	0.45	0.40	0.35	0.35	0.30	0.30	0.30	0.2
30 - 44.99	0.40	0.35	0.30	0.30	0.25	0.25	0.25	0.15
45 - 59.99	0.35	0.30	0.25	0.25	0.20	0.20	0.20	0.10
60 - 99.99	0.30	0.25	0.20	0.20	0.15	0.15	0.15	0.05
100 +	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Slope Bands (%)	R1H1	R1H2	R1H3	R1H4
0 - 14.99	0.65	0.55	0.45	0.40
15 - 29.99	0.60	0.50	0.45	0.35
30 - 44.99	0.55	0.45	0.40	0.30
45 - 59.99	0.50	0.40	0.35	0.25
60 - 99.99	0.45	0.35	0.30	0.20
100 +	0.00	0.00	0.00	0.00

(A)	(B)	(C)	(D)
Slope Bands (%)	Lot Area within each Slope Band (sq. ft.)	FAR From the Zone circled in Table 1 or Table 2	Maximum Residential Floor Area* allowed within each Slope Band
0 - 14.99	8710	X	3049
15 - 29.99	925	X	248
30 - 44.99	2014	X	504
45 - 59.99	2528	X	506
60 - 99.99	3437	X	516
100 +	167	X	0
Maximum Residential Floor Area			4823

\* Residential Floor Area shall be calculated as defined in LAMC Section 12.03.

April 3, 2017

Page 2 of 3

## Department of Building and Safety / City Planning Slope Analysis and Maximum Residential Floor Area Verification Form

I, David Silverman, the licensed professional Land Surveyor or Registered Civil Engineer in the State of California (License Number: 58650, Expiration Date: 12-31-20), Certify that all of the above information is correct.

Signature: Date: 7 MAY 2020

SECTION IV. (To be completed by City Planning Staff)

Approved Maximum Residential Floor Area for the property listed below: 4,823 (sq. ft.)

Property Information:

Lot: 151 Tract: BEL-AIR N B 113-817

Assessor Parcel number: 482 013 008

City Planning's Staff:

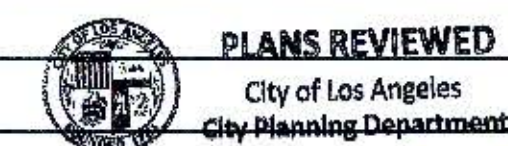
2 Sets of Slope Analysis Maps Stamped and Signed Yes ☒ No ☐

Name (Please Print): Louis Ortega

Signature: Date: 05/21/2020

Notes: Max LFA: 4,823 sq. ft.

Surveyor noted to H-1 1st 9/15/18 as MAX LFA



April 3, 2017

Page 3 of 3

## TOPOGRAPHIC SURVEY

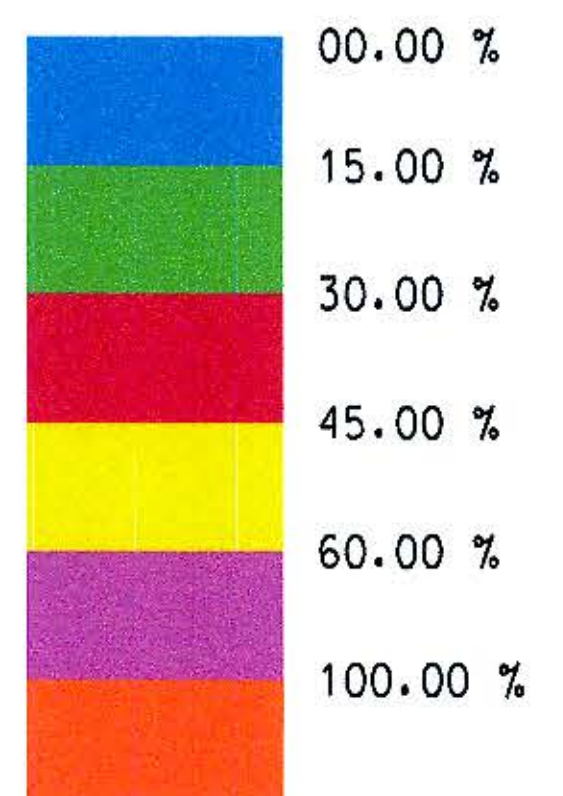
### LEGAL DESCRIPTION

LOT 21, 22, 23, 24 & 25  
OF BLK 152  
TRACT NO. 1033  
MB 18 PG 86/87

### ADDRESS

1816 RIAL LANE  
LOS ANGELES, CA 90077

ACCESSOR PARCEL NO.  
4371-002-005



Survey Date:  
SEPTEMBER 12, 2018



SHEET 1 OF 1