

ABBREVIATIONS					
A	A.B.	Anchor Bolt	M	MAX.	Maximum
	A/C	Air Conditioning		M.B.	Machine Bolt
	A.C.	Asphalt Concrete		M.C.	Medicine Cabinet
	ACOUS.	Acoustical		MECH.	Mechanical
	A.D.	Area Drain		MEMB.	Membrane
	ADJ.	Adjustable		MET.	Metal
	A.F.F.	Above Finish Floor		MFR.	Manufacturer
	AGGR.	Aggregate		MH.	Manhole
	AL.	Aluminum		MN.	Minimum
	APPROX.	Approximate		MIR.	Mirror
B	ARCH.	Architectural	N	MISC.	Miscellaneous
	ASB.	Asbestos		M.O.	Masonry Opening
	ASPH.	Asphalt		M.T.D.	Mounted
	A.S.W.	Area Separation Wall		M.T.L.	Metal
				MAX.	Mullion
C	BD.	Board	O	N.	North
	B.T.U.	British Thermal Unit		N.G.	Natural Grade
	BITUM.	Bituminous		N.I.C.	Not in Contract
	BLDG.	Building		NO.	Number
	BLK.	Block		NOM.	Nominal
	BLKG.	Blocking		N.T.S.	Not to scale
	BM.	Beam			
	BOT.	Bottom			
D	CAB.	Cabinet	P	O/	Over
	C.B.	Catch Basin		O.A.	Overall
	CEM.	Cement		OBS.	Obscure
	CER.	Ceramic		O.C.	On Center
	C.I.	Cast Iron		O.D.	Outside Diameter (Dim.)
	C.G.	Corner Guard		OFF.	Office
	CLG.	Ceiling		OPNG.	Opening
	CLKG.	Caulking		OPP.	Opposite
	CLO.	Closet			
	CLR.	Clear			
E	C.O.	Cased Opening/ Clean Out	Q	P.C.P.	Portland Cement Plaster
	COL.	Column		PRCST.	Pre-Cast
	CONC.	Concrete		PL.	Plate/ Property Line
	CONN.	Connection		P.LAM.	Plastic Laminate
	CONSTR.	Construction		PLAS.	Plaster
	CONT.	Continuous		PLYWD.	Plywood
	CORR.	Corridor		PNL.	Panel
	CTSK.	Countersunk		PNT.	Paint
	CNTR.	Counter		PR.	Pair
	CTR.	Center		PT.	Point
F	DBL.	Double	R	P.T.D.	Paper Towel Dispenser
	DEPT.	Department		P.T.D./R	Paper Towel Dispenser and Receptacle
	D.F.	Drinking Fountain/ Douglas Fir		PTN.	Partition
	DET.	Detail		P.T.R.	Paper Towel Receptacle
	DIA.	Diameter			
	DIM.	Dimension			
	DISP.	Dispenser			
	DN.	Down			
	D.O.	Door Opening			
	DR.	Door			
G	DWR.	Drawer	S	R.	Riser
	DS.	Downspout/ Double Strength (Glass)		R.A.	Radius
	D.S.P.	Dry standpipe		R.D.	Roof Drain
	DWG.	Drawing		REF.	Reference
				REFR.	Refrigerator
				RGTR.	Register
				REINF.	Reinforced
				REQ.	Required
				RESIL.	Resilient
				R.O.	Rough Opening
H	E.	East	T	RM.	Room
	E.A.	Each		RTNG.	Retaining
	E.J.	Expansion Joint		RWD.	Redwood
	EL.	Elevation		R.W.L.	Rain Water Leader
	ELEC.	Electrical			
	ELEV.	Elevator			
	EMER.	Emergency			
	ENCL.	Enclosure			
	E.P.	Electrical/Panel Board			
	EQ.	Equal			
I	EQPT.	Equipment	U	S.	South
	E.W.C.	Electric Water Cooler		S.C.	Solid Core
	EXST.	Existing		S.C.D.	Seat Cover Dispenser
	EXST.	Existing		SCHED.	Schedule
	EXP.	Exposed		S.D.	Soap Dispenser/ Storm Drain
	EXP.	Expansion		SECT.	Section
	EXT.	Exterior		S.F.	Square Feet
				SH.	Shelf
				SHR.	Shower
				SHT.	Sheet
J	F.A.	Fire alarm	V	SHTG.	Sheeting
	F.B.	Flat bar		SIM.	Similar
	F.D.	Fire alarm		S.N.D.	Sanitary Napkin Dispenser
	FND.	Foundation		S.N.R.	Sanitary Napkin Receptacle
	F.E.	Fire Extinguisher		S.O.V.	Shut Off Valve
	F.E.C.	Fire Extinguisher Cab.		SPEC.	Specification
	F.F.	Finished Floor		SQ.	Square
	F.G.	Finished Grade		S.ST.	Stainless Steel
	F.H.	Fire Hydrant		S.SK.	Service Sink
	F.H.C.	Fire Hose Cabinet		STA.	Station
K	FIN.	Finish	W	STD.	Standard
	F.L.	Floor/ Flow Line		STL.	Steel
	FLASH.	Flashing		STOR.	Storage
	FLUOR.	Fluorescent		STR.L.	Structural
	F.O.C.	Face of Concrete		STRUC.	Structure
	F.O.F.	Face of Finish		STRUC'L.	Structural
	F.O.S.	Face of Studs		SUSP.	Suspended
	F.P.	Fireproof		SYM.	Symmetrical
	FRMG.	Framing		S4S	Smooth Four Sides
	F.S.	Full Size/ Floor Sink			
L	FT.	Foot or Feet	X	T.	Thermostat
	FTG.	Footing		TRD.	Tread
	FURR.	Furring		T.B.	Towel Bar
	FUT.	Future		T.C.	Top of Curb/ Concrete
				TEL.	Telephone
				T.&G.	Tongue and Groove
				THK.	Thick
				T.O.P.	Top of Plate
				T.O.P.	Top of Pavement
				T.P.D.	Toilet Paper Dispenser
M	GA.	Gauge	Y	T.W.	Top of Wall
	GALV.	Galvanized		T.V.	Television
	G.B.	Grab bar		TYP.	Typical
	G.I.	Galvanized Iron			
	GL.	Glass			
	GND.	Ground			
	GR.	Grade			
	GYP.	Gypsum			
	G.W.B.	Gypsum Wallboard			
N	H.B.	Hose Bibb	Z	UNF.	Unfinished
	H.C.	Hollow Core		U.N.O.	Unless Noted Otherwise
	H.D.	Heavy Duty		UR.	Urinal
	HDWD.	Hardwood		U.T.R.	Up Through Roof
	HDWE.	Hardware			
	H.M.	Hollow Metal			
	HORIZ.	Horizontal			
	HR.	Hour			
	HGT.	Height			
	H.W.	Hot Water			
O	I.D.	Inside Diameter (Dim.)	AA	V.	Vent
	I.E.	Invert Elevation		V.C.P.	Vitrified Clay Pipe
	INSUL.	Insulation		VERT.	Vertical
	INT.	Interior		VEST.	Vestibule
				V.G.	Verticle Grain
				V.G.D.F.	Verticle Grain Douglas Fir
				V.T.R.	Vent Though Roof
P	JAN.	Janitor	BB	W.	Weat
	JST.	Joist		W/	With
	JT.	Joint		W.C.	Water Closet
				WD.	Wood
				W/O	Without
				WP	Waterproof
				WP'G	Waterproofing
				WSCOT.	Wainscot
				WT.	Weight
Q	KIT.	Kitchen	CC		
R	LAV.	Lavatory	DD		
	LBS.	Pounds			
	L.F.	Lineal Feet			
	LKR.	Locker			
	L.S.	Laundry Sink			
	LT.	Light			
S	LAB.	Laboratory	EE		
	LAM.	Laminate			
T	LAV.	Lavatory	FF		
	LBS.	Pounds			
	L.F.	Lineal Feet			
	LKR.	Locker			
	L.S.	Laundry Sink			
	LT.	Light			
U	LAV.	Lavatory	GG		
	LBS.	Pounds			
	L.F.	Lineal Feet			
	LKR.	Locker			
	L.S.	Laundry Sink			
	LT.	Light			
V	LAV.	Lavatory	HH		
	LBS.	Pounds			
	L.F.	Lineal Feet			
	LKR.	Locker			
	L.S.	Laundry Sink			
	LT.	Light			
W	LAV.	Lavatory	II		
	LBS.	Pounds			
	L.F.	Lineal Feet			
	LKR.	Locker			
	L.S.	Laundry Sink			
	LT.	Light			
X	LAV.	Lavatory	JJ		
	LBS.	Pounds			
	L.F.	Lineal Feet			
	LKR.	Locker			
	L.S.	Laundry Sink			
	LT.	Light			
Y	LAV.	Lavatory	KK		
	LBS.	Pounds			
	L.F.	Lineal Feet			
	LKR.	Locker			
	L.S.	Laundry Sink			
	LT.	Light			
Z	LAV.	Lavatory	LL		
	LBS.	Pounds			
	L.F.	Lineal Feet			
	LKR.	Locker			
	L.S.	Laundry Sink			
	LT.	Light			

UNDER PREVIOUS SEPARATE PERMITS

2 Story S.F.D w/ Habitable Basement

Structural Deck Supported on Columns

Retaining Wall (10' Max. Height Each)

Site Grading for R.W.

Site Grading for Single Family Dwelling / Garage

Outdoor Swimming Pool and SPA

Grading for driveway and access road

Plumbing

Mechanical

Electrical

P.A.#: 10010-10000-02370

P.A.#: 10020-10000-02757

P.A.#: 10020-10000-02756

P.A.#: 10030-10000-10201

P.A.#: 10030-10000-10201

P.A.#: 10047-10000-01083

P.A.#: 10030-10000-10201

P.A.#:

P.A.#:

P.A.#:

VICINITY MAP

NEW 2-STORY S.F.D. W/ EXISTING HABITABLE BASEMENT

1804 OZKA RESIDENCE

1804 N. RIAL LANE, LOS ANGELES, CA 90077

(PLAN CHECK APPLICATION #: 10010-10004-02370)

LEGAL INFORMATION

Scope of Work:----- New 2-Story Residence w/ habitable basement

SITE DESCRIPTION

Scope of Work:----- Supplemental to Permit #10010-10000-02370 to check revised SFD design and check for compliance with current codes due to permit expired  
*(New 2-Story Residence with Existing Habitable Basement)*

Site Address:----- 1804 N. Rial Lane Los Angeles, CA. 90077

Lot Area:----- 20,887 Sq.Ft. (0.48 Acres)

PIN Number:-----147B149 16, 18, 19, 23, 30, 33

Accessor PN:-----4371-002-004

Tract:-----TR 1033

Block:-----152

Lot:-----15, 16, 17, 18, 19, 20

Hillside Grading Area: YES

Hillside Ordinance: ----- YES

Zoning:----- RE20-1-HCR

Occupancy:----- R3 / U / S2

Fire Sprinklers: ----- Fully Sprinklered per NFPA-13D  
\* Sprinkler System to be approved by Plumbing Division prior to installation

Type of Constuction:----- V-B

Number of Story:----- 2-STORY W/ BASEMENT

VHFHSZ:----- YES

Fire District No. 1:----- NO

Flood Zone:----- NO

Landslide:----- YES

Liquefaction:----- NO

Fire Division:----- 3

Battalion:----- 9

Fire Station:----- 71

Developer & Owner: Ozka LLC

Address:----- 11400 W. Olympic Blvd., 9th Floor Los Angeles, CA 90064

Telephone:----- (424) 354 3260 c/o Viktor Nikravesh

BUILDING INFORMATION

BUILDING CODE AREA CALCS.

First Floor Area: ----- [Livable Area : 2,971 Sq.Ft. + Loggia/ Covered Area : 109 Sq.Ft.]  
R3 = 3,080 Sq.Ft.  
U = 274 Sq.Ft.

Second Floor Area: ----- [Livable Area : 2,614 Sq.Ft. + Loggia/ Covered Area : 0 Sq.Ft.]  
R3 = 2,614 Sq.Ft.  
U = 0 Sq.Ft.

TOTAL AREA: R3 = 5,694 Sq.Ft.  
(1st. and 2nd. Floor) U = 274 Sq.Ft.

*\* See sheet A-Area for area breakdown*

Basement Area: ----- [Livable Area : 3,093 Sq.Ft.]  
R3 = 3,093 Sq.Ft.  
S2 = 1,273 Sq.Ft.

TOTAL AREA: R3 = 8,787 Sq.Ft.  
(1st ; 2nd & Basement) U = 274 Sq.Ft.  
S2 = 1,273 Sq.Ft.  
SUM = 10,333 Sq.Ft.

RFA CALCS (See sheet A-Area)

RFA Allowed per Slope Analysis 4,892,659 Sq.Ft.

RFA Allowed + 20% Bonus 978.53 Sq.Ft.

RFA Allowed (Total): 5,871.19 Sq.Ft.

RFA (Provided): 5,756.00 Sq.Ft.

LOT COVERAGE

Lot Area: 20,887 Sq. Ft. (0.48 Acres)

Main Building Footprint Area: 3,620 Sq. Ft.

Swimming Pool Area: 445 Sq. Ft.

Structural Deck: 2,275 Sq. Ft.

Built-up Deck: 295 Sq. Ft.

Total: 6,635 Sq. Ft.

Lot Coverage %: = 32 % (Proposed)  
[35% Allowed]

DRAWING INDEX

Architectural

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A-N03	Prevailing Setback Calcs	A-4.0	Roof Plan
	Building Code Requirements	A-5.0	Elevations - North & South
A-DBS	LADBS Information Bulletins	A-5.1	Elevations - East & West
A-RR01	Research Reports	A-6.0	Building Sections - A-A & B-B
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T-24.1	Title 24	A-8.1	Window Schedule
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C-1	Topography Survey	A-9.0	Pool Plan, Sections, Notes & Details
A-0.2	Site Plan [Scale: 1/8"=1'-0"]	A-9.1	Pool and Spa Elevations
A-0.2a	Site Plan [Scale: 3/16"=1'-0"]	A-10.0	Architectural Details
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Structural [Main Building]

Sheet	Contents
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S-3	1st. Floor Deck Plan
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S-4	2nd. Floor Framing Plan
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SD-2	Framing Details
SD-3	Framing Details
SD-4	Framing Details
SD-5	Framing Details
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SD-7	Standard Quality Assurance Plan
SD-8	Standard Quality Assurance Plan
SD-9	Standard Quality Assurance Plan
SD-10	Research Reports

CONSULTANTS

Architectural:

Hafoo & Associates

p. (323) 651-0909; f. (818) 655-8418

Surveyor:

Ray Lombera and Associates, Inc.

p. (323) 257-9771; f. (323) 257-9865

Structural Engineer [Main Building]:

Berkoz and Assoc., Inc.

p. (818) 668-8589; f. (818) 668-8596

Grading Engineer [Site work]:

Advance Engineering & Consulting

22837 Ventura Blvd., Suite 100, Woodland Hills, CA. 91364

p. (818) 222-7982

Soils & Geotechnical: Applied Earth Sciences

4742 San Fernando Road Glendale, CA. 91204

p. (818) 552-6000 f. (818) 552-6007

ABBREVIATIONS

&	And
<	Angle
@	At
#	Pounds, or Number
(E)	Existing
(N)	New

WALL LEGEND

=====	Block Wall, or As Specified
=====	Existing Wall, or As Specified
=====	Stud Wall, or As Specified

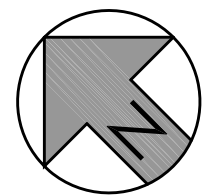
SYMBOLS

	Recessed Ceiling Mounted Waterproof Light Fixture		Direction of Elevation/ Section Designation
	Wall Washer Light Fixture (Spot Light)		Direction of Interior Elevation Designation
	Adjustable Light Fixture		Elevation Level in Reference to Sea Level/ Finished Floor
	Recessed Ceiling Mounted Light Fixture		True Direction of North
	Recessed Ceiling Mounted Fluorescent Light Fixture		Direction of North in Reference to Entire Set of Plans
	Recessed Ceiling Mounted Pendant Light Fixture		Exit Signs And Directional Exit Signs w/ Min. 6" High By 3/4" Stroke Block Letters on a Contrasting Background
	Recessed Ceiling Mounted Low Voltage Light Fixture		Exhaust Fan (Min. 5 Air Changes Per Hour)
	Chandelier Light Fixture		Smoke Detector Must Receive Their Primary Power From The Bldg. Wiring And Shall Be Equipped With A Battery Backup. SEC.310.9.1.3. Retrofitt Smoke Detectors May Be Battery Operated, SEC. 310.9.1.
	Wall Mounted Light Fixture		Finished Floor Elevation Designation
	Floor Mounted (Downlight)		Property Line
	Fluorescent Downlight		Center Line
	Fluorescent Light Fixture		Room Number
	Eletrical Sub-Panel		Fire Extinguisher Cabinet
	Incandescent Light Fixture And Exhaust Fan Unit		Single Pole Switch
	Junction Box		3-Way Switch
	2x4 Fluorescent Light Fixture		Single Pole Switch w/ Dimmer



See sheet A-0.2a

PROPOSED S.F.D.  
(See PA# 10010-10000-02368)



See sheet A-0.2a

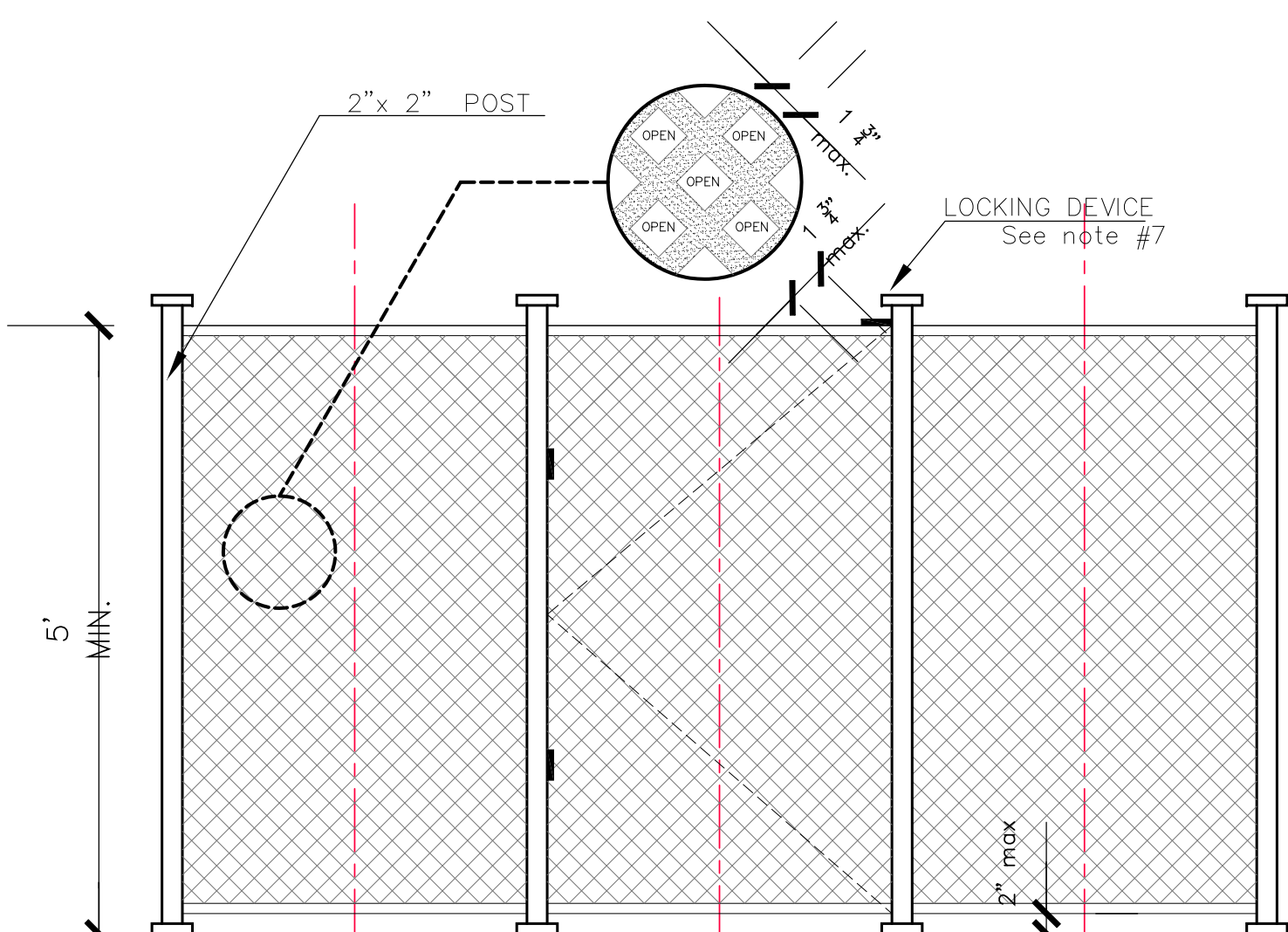
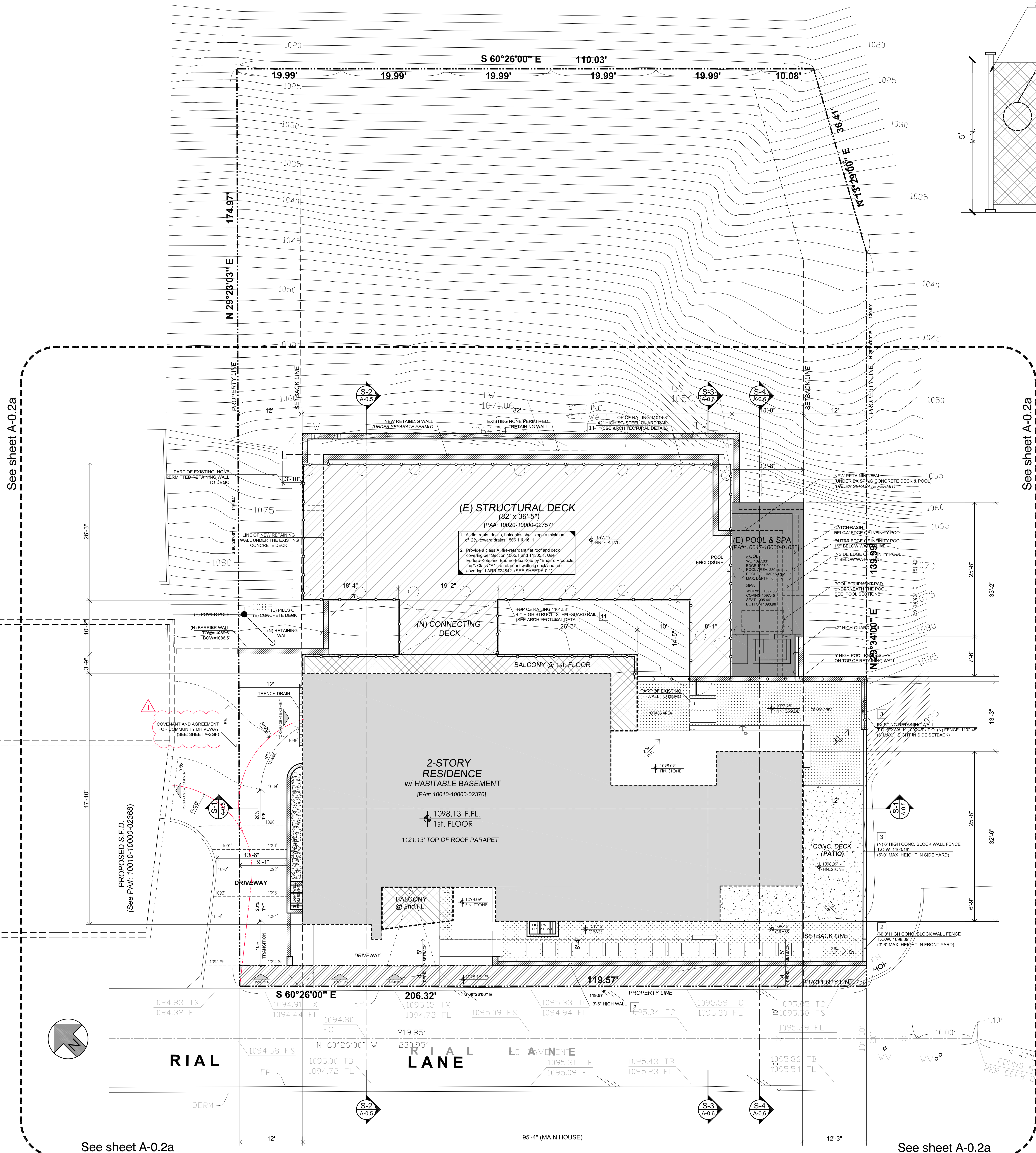
RIAL

RIAL LANE

LC AVENUE

See sheet A-0.2a

See sheet A-0.2a



#### CONSTRUCTION REQUIREMENTS:

- MINIMUM FENCE HEIGHT IS MEASURED ON THE SIDE OF THE FENCE WHICH FACES AWAY FROM THE SWIMMING POOL.
- MAXIMUM VERTICAL CLEARANCE FROM THE GROUND TO THE BOTTOM OF THE FENCE SHALL BE LIMITED TO TWO INCHES MEASURED ON THE SIDE OF THE FENCE WHICH FACES AWAY FROM THE SWIMMING POOL.
- OUTSIDE SURFACE OF A FENCE SHALL BE FREE OF PROTRUSIONS, CAVITIES, OR OTHER PHYSICAL CHARACTERISTICS THAT WOULD SERVE AS HANDHOLDS OR FOOTHOLDS, WHICH RENDER THE FENCE EASILY CLIMBABLE.
- MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE THE SAME AS REQUIRED BY PUBLIC POOL ENCLOSURES OF LABC SECTION 91.3118. A CHAIN LINK FENCE MAY BE USED PROVIDED THE OPENINGS ARE NOT GREATER THAN 1 1/2 INCHES MEASURED HORIZONTALLY. THE WIRE SHALL NOT BE LESS THAN 11 GAUGE.
- GAPS OR VOIDS IN THE FENCE SHALL NOT ALLOW THE PASSAGE OF A SPHERE EQUAL TO OR GREATER THAN 4 INCHES IN DIAMETER.
- WHERE THE FENCE IS COMPOSED OF DIAGONAL MEMBERS, SUCH AS A LETTICE FENCE, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL BE NO MORE THAN 1 1/2 INCHES.
- PRIVATE POOLS: ALL ACCESS GATES THROUGH THE ENCLOSURE SHALL OPEN AWAY FROM THE SWIMMING POOL AND SHALL BE SELF-CLOSING WITH A SELF-LATCHING DEVICE PLACED NO LOWER THAN 60 INCHES ABOVE THE GROUND.

#### POOL REQUIREMENTS:

- All new pool enclosures shall be a minimum of 5 feet in height.
- The fence shall use one of the following approved construction materials: wood, masonry, concrete, corrosion-resistant sheet metal or chain link fence. A fence shall be maintained in good repair and shall be kept vertical, uniform and structurally sound per LAMC Section 12.21A9.
- The pool fence shall be structurally designed to resist minimum lateral loads due wind and seismic loads per LABC Section 91.1609 and 91.1610.
- All access gates through the enclosure shall open away from the swimming pool and shall be self-closing with a self-latching device placed no lower than 60 inches above the ground. (See gate detail on this page)
- Every pool shall be equipped with an approved filter unit and drain. The location of pool equipment shall require an additional inspection and approval by the Noise Enforcement Inspector, when the pool equipment is located less than 10 feet from a property line of an adjoining property.
- Each new pool or SPA shall have a minimum of two circulation drains per pump. The drains or outlets shall be hydraulically balanced and symmetrically plumbed through one or more "T" fittings, and separated by a distance at least three feet in any dimension between drains. Any backup safety system shall meet the standards as published in the "Guidelines for Entrapment Hazards".
- Deck build around the pools shall not drain into the sanitary sewer. Drainage may be conducted to street (storm drain) via non-erosive device.
- Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs.max.) for a single opening. The deactivation switch shall be at least 54" above the floor.

#### GENERAL NOTES:

- No ground water shall be above any portion of the pool construction.
- All surface water shall drain away from the pool.
- Electrical inspection shall approve grounding of reinforcing, plumbing and conduit prior to the approval of reinforcing steel for pouring of concrete or gunite.
- The noise level from the pool equipment located less than 10 feet from a property line of an adjoining property, shall not exceed ambient noise level by more than five decibels.
- Continuous inspection is required for shotcrete/gunite pool.
- Anti-entrapment cover meeting the current ASTM or ASME is required for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per the Assembly Bill (AB) No. 2977.

#### NOTES:

- All roof and area drainage throughout site to be conducted underneath the sidewalk to street curb.
- All front yard retaining walls not to exceed 3'-6" in height above the existing natural grade and in its overall height.
- Height of wall/fence/built-up deck cannot exceed the allowable height of 6' in side and rear yards in hillside areas. If guard-rail is required the height of the guard-rail must be included in the measurement of the overall height of wall/fence/built-up deck.
- UNDER SEPARATE PERMIT APPLICATION NUMBER.
- A Registered deputy Grading Inspector is required on all shoring work including slot-cuts Sec.1701.5
- Temporary erosion control to be installed between November 1 and April 15.
- Retaining walls located closer to the property line than the height of the wall shall be backfilled not later than 10 days after construction of the wall and necessary structural supporting members unless recommended otherwise by responsible engineer.
- A minimum of 1 ft. of freeboard is required.
- Provide a guardrail (min. 42" high) on top of walls for yard areas which drop more than 30 inches.
- Concentrated drainage to be discharged into an approved location. Provide open V drain behind Retaining Wall to direct water to street.
- Provide rain gutters and convey rain water to the street via non-erosive devices
- Drainage across interior lot lines creating cross-lot drainage is not permitted nor changes in the drainage pattern which alter or increase quantity which discharges to adjoining properties. MGD 102.

#### ADDITIONAL 2017 LABC REQUIREMENTS:

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hookup. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building.
- Plumbing fixtures are required to be connected to sanitary sewer or to an approved sewage disposal system (R306.3)
- Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall activate within 7 seconds and sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 54" above the floor (3109.4.1.8)
- For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME is required for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per the Assembly Bill (AB) No. 2977
- A copy of the evaluation report and/or conditions of listing shall be made available at job site.
- Provide anti-Graffiti finish within the first 9 feet, measured from grade, at exterior walls and doors.

#### DRIVEWAY REQUIREMENTS:

##### SLOPES FOR DRIVEWAY:

- 20% max. slope on driveway
- 10% max. cross slope of driveway
- Transition slopes are required when the slope of driveway exceeds 12.5%

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REVISIONS (DESCRIPTION)  
PROVIDED COVENANT & AGREEMENT FOR COMMUNITY DRIVEWAY

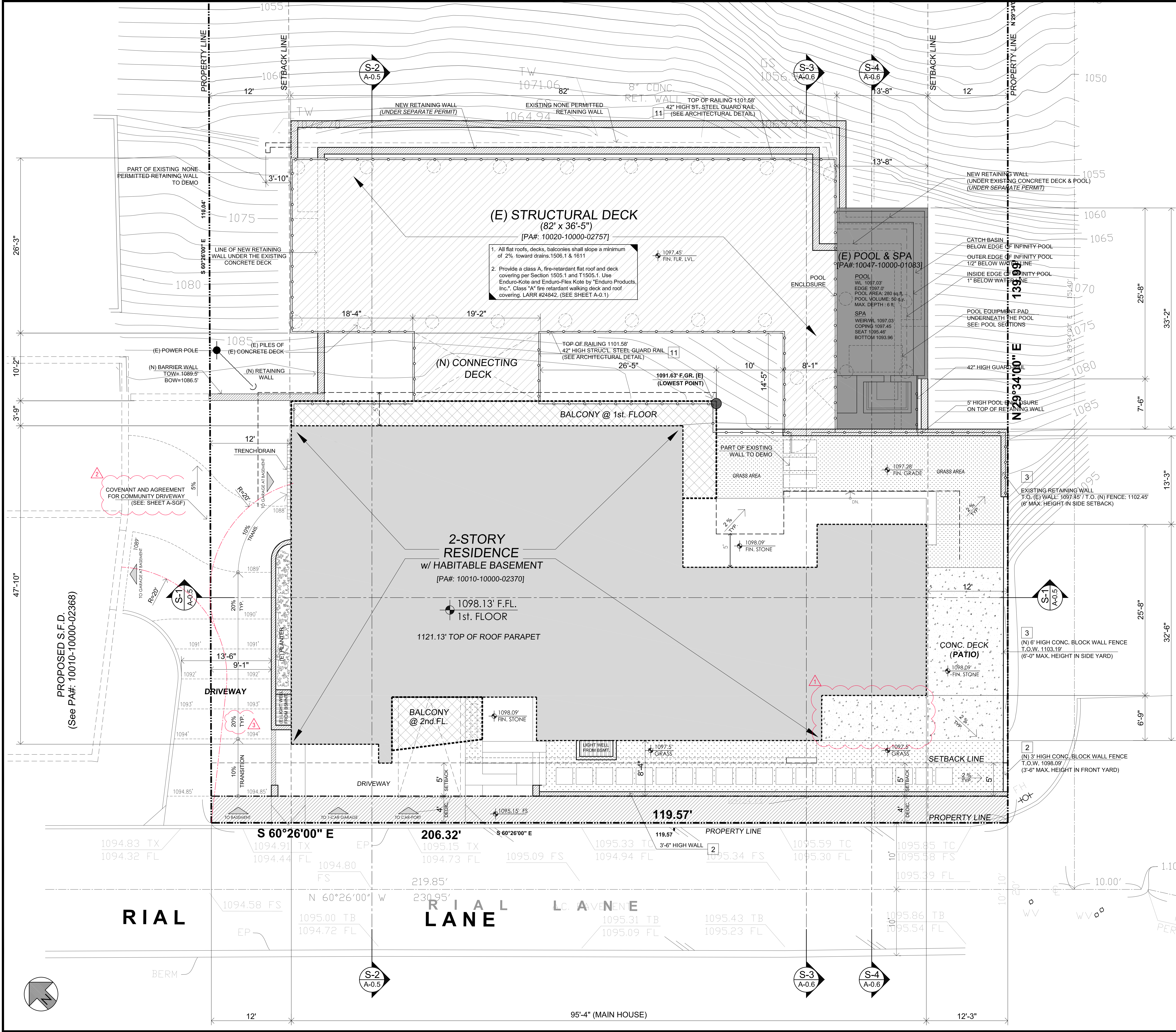
NO.	DATE	DESCRIPTION
1	07-2021	PROVIDED COVENANT & AGREEMENT FOR COMMUNITY DRIVEWAY

DRAWING TITLE	DATE	SCALE	JOB TITLE	JOB ADDRESS	OWNER/DEVELOPER
SITE PLAN	JULY, 2021	1/8" = 1' - 0"	1804 OZKA RESIDENCE	1804 RIAL LANE, LOS ANGELES, CA 90077	OZKA LLC

DRAWN BY	MM, GD, EL, JL	JOB NUMBER
MM, GD, EL, JL		

SHEET NUMBER
A-0.2





- NOTES:**
- All roof and area drainage throughout site to be conducted underneath the sidewalk to street curb.
  - All front yard retaining walls not to exceed 3'-6" in height above the existing natural grade and in its overall height.
  - Height of wall/fence/built-up deck cannot exceed the allowable height of 6' in side and rear yards in hillside areas. If guard-rail is required the height of the guard-rail must be included in the measurement of the overall height of wall/fence/built-up deck.
  - UNDER SEPARATE PERMIT APPLICATION NUMBER.
  - A Registered Deputy Grading Inspector is required on all shoring work including sheet-piles. Sec. 1701.15.
  - Temporary erosion control to be installed between November 1 and April 15.
  - Retaining walls located closer to the property line than the height of the wall shall be backfilled not later than 10 days after construction of the wall and necessary structural supporting members unless recommended otherwise by responsible engineer.
  - A minimum of 1 ft. of freeboard is required.
  - Provide a guardrail (min. 42" high) on top of walls for yard areas which drop more than 30 inches.
  - Concentrated drainage to be discharged into an approved location. Provide open V drain behind Retaining Wall to direct water to street.
  - Provide rain gutters and convey rain water to the street via non-erosive devices.
  - Drainage across interior lot lines creating cross-lot drainage is not permitted nor changes in the drainage pattern which alter or increase quantity which discharges to adjoining properties. MSD 102.

- POOL REQUIREMENTS:**
- All new pool enclosures shall be a minimum of 5 feet in height.
  - The fence shall use one of the following approved construction materials: wood, masonry, concrete, corrosion-resistant sheet metal or chain link fence. A fence shall be maintained in good repair and shall be kept vertical, uniform and structurally sound per LAMC Section 12.21A9.
  - The pool fence shall be structurally designed to resist minimum lateral loads due to wind and seismic loads per LAMC Section 91.1609 and 91.1610.
  - All access gates through the enclosure shall open away from the swimming pool and shall be self-closing with a self-latching device placed no lower than 60 inches above the ground. (See gate detail on this page)
  - Every pool shall be equipped with an approved filter unit and drain. The location of pool equipment shall require an additional inspection and approval by the Noise Enforcement Inspector, when the pool equipment is located less than 10 feet from a property line of an adjoining property.
  - Each new pool or SPA shall have a minimum of two circulation drains per pump. The drains or outlets shall be hydraulically balanced and symmetrically plumbed through one or more "T" fittings, and separated by a distance at least three feet in any dimension between drains. Any backup safety system shall meet the standards as published in the "Guidelines for Entrapment Hazards".
  - Build bulk around the pools shall not drain into the sanitary sewer. Drainage may be conducted to street (storm drain) via non-erosive device.
  - Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 54" above the floor.
- GENERAL NOTES:**
- No ground water shall be above any portion of the pool construction.
  - All surface water shall drain away from the pool.
  - Electrical inspection shall approve grounding of reinforcing, plumbing and conduit prior to the approval of reinforcing steel for pouring of concrete or grout.
  - The noise level from the pool equipment located less than 10 feet from a property line of an adjoining property, shall not exceed ambient noise level by more than five decibels.
  - Continuous inspection is required for shotcrete/gunite pool.
  - Anti-entrapment cover meeting the current ASTM or ASME is required for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per the Assembly Bill (AB) No. 2977.

- ADDITIONAL 2017 LABC REQUIREMENTS:**
- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
  - An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building.
  - Plumbing fixtures are required to be connected to sanitary sewer or to an approved sewage disposal system (R306.3).
  - Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall activate within 7 seconds and sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 54" above the floor (3109.4.1.6).
  - For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME is required for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per the Assembly Bill (AB) No. 2977.
  - A copy of the evaluation report and/or conditions of listing shall be made available at job site.
  - Provide anti-Graffiti finish within the first 9 feet, measured from grade, at exterior walls and doors.

- DRIVEWAY REQUIREMENTS:**
- SLOPES FOR DRIVEWAY:**
- 20% max. slope on driveway
  - 10% max. cross slope of driveway
  - Transition slopes are required when the slope of driveway exceeds 12.5%

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CONSULTING ARCHITECTS & ENGINEERS  
4334 WILSHIRE BLVD. LOS ANGELES CA 90048  
TEL (323) 651-0007 FAX (323) 655-6416

REGISTERED ARCHITECT  
HAFCO GROUP, INC.  
NO. 0013577  
EXP. 10/31/21  
STATE OF CALIFORNIA

REVISIONS (DESCRIPTION)	
NO.	DATE
1	07-2021
2	07-2021
3	07-2021
4	07-2021
5	07-2021
6	07-2021
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100	07-2021

DRAWING TITLE  
SITE PLAN - (ENLARGED PLAN)

JOB TITLE  
1804 OZKA RESIDENCE

JOB ADDRESS  
1804 RIAL LANE, LOS ANGELES, CA 90077

OWNER / DEVELOPER  
OZKA LLC

DATE  
JULY, 2021

SCALE  
3/16" = 1' - 0"

DRAWN BY  
MM, GD, EL, JL

JOB NUMBER

SHEET NUMBER  
A-0.2a



- KEY NOTES**
1. 36" x 30" roof access hatch. (SEE DETAIL 2 & 4 SHEET A-10.7)
  2. 24" x 30" attic access.
  3. Attic access with pull down ladder.
  4. Screened under-floor vent.
  5. Under-floor access.
  6. Exhaust fan capable of providing five (5) complete air changes per hour. Vent exhaust fans to outside air (See mechanical plans).
  7. Provide self-closing device on Fire Rated door (see door schedule SHEET A-8.0).
  8. Line of exhaust hood above: Vent to outside with remote exhaust fans. Verify venting requirements with manufacturer specifications.
  9. Provide 5/8" type "X" gypsum board on all garage walls, ceiling, posts and beams supporting dwelling and shall extend from top of concrete to, and including garage ceiling.
  10. Fire blocking shall be installed at: (708.2.1)
    - a. Concealed space between stair stringers at top and bottom run.
    - b. At openings around vents, pipes, ducts, chimneys (non-combustible materials).
    - c. At openings between attic and chimneys chase for factory built chimneys.
  11. For garage door opener, push button shall be pre-wired before gypsum board is installed.
  12. 12" x 12" minimum access panel to bathtub trap connection with slip joints (94-B UPC); Solid trap at tubs without access panels must be provided.
  13. Electrical sub panel. See electrical plans.
  14. Built-in cabinetry.
  15. Washer: Recessed hot and cold water and drain standpipe must be provided. Floor drain under washer must also be provided.
  16. Drier: Weather hood vent with damper to outside air at roof must be provided. The vent duct shall be min. 4" dia. smooth galv. metal and is limited to 14'-0" with two elbows.
  17. Water softener.
  18. F.A.U. with night setback thermostat and summer fan switch; Combustion air vent and condensation line to outside air must be provided. If required, provide 20" plywood platform for unit (verify location with mechanical plans). See title 24 for size and model.
  19. Gas fired hi-recovery water heater/ storage tank with circulating pump and R-5 insulation: Verify with title 24. For lateral support in the event of an earthquake, secure to wall framing with metal straps at top and bottom. For water softener, provide plumbing logs. Note: Provide 1/8" min. high wood platform with 3/8" type "X" gypsum board finish. (SEE DETAIL 16 SHEET A-10.5)
  20. Phone panel: All lines to be home run.
  21. Tub/shower with stone on walls to ceiling height: Shower pan shall be hot mopped with 4" built up dam.
  22. Provide tempered glass shower enclosure - See specifications.
  23. Soap and shampoo niche.
  24. Built-in whirlpool tub: Deck, skirt and splash must be provided. As required, provide wood framed platform with access to equipment. Electrical sub-contractor shall provide electrical supply and connections as required.
  25. Steam shower - Mr. Steam model no. MS Super II: Enclosure shall be tempered glass with hopper window above door. (Finish ceiling with same material as walls and slope 0" per 1'-0", install steam unit per MFR. recommendations.
  26. Pre-fabricated fireplace unit: ISOKERN 46" fireplace and chimney system by EARTHCORE INDUSTRIES, RFR# 25483. Fuel gas and loose key valve must be provided. Approved spark arrester at chimney termination must also be provided. Provide combustion air intake as required and glass enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.8)
  27. Metal firebox with herringbone brick pattern & Selkirk metalbestos #SS1 flue system built in accordance with the structural plans. Provide combustion air as required. Provide fuel gas with loose key valve. Provide glass enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.11)
  28. Verify with owner if "Instant-hot" dispenser and water filtration system shall be provided.
  29. Provide purified cold water supply line to ice-maker with recessed shut off valve. Verify with manufacturer.
  30. **Cooking Pot filler faucet, (Location: Kitchen).**
  31. 1-hour fire-resistance-rated wall separating U from R-3 occupancy (per IBC T 720.1(2)).
  32. 2-hours fire-resistance-rated wall separating S-2 from R-3 occupancy (per IBC T 720.1(2)).
  33. 2-hours fire-resistance-rated floor/ceiling assembly separating S-2 from R-3 occupancy (per IBC Table 720.1(3)).
  34. Archway/doorway above (See elevations).
  35. GPX Door Assembly with SuperLite II-XL by "Safe First". RFR# 25786
  36. Decorative niche. Verify owner's requirements.
  37. Provide 15" minimum between the center of door closet to any side wall and 24" clear space in front.
  38. Provide spark arrester in chimneys of all fire places w/ openings not to exceed 1/2 inches. Fire code section 1109.7 and U.B.C. section 6403.5 & section 3102.3 U.B.C. section (max. 1/2" inch screen).
  39. Wet bar should NOT include any of the following items: natural gas outlet, 220 AC el.outlet, double sink, bar sink exceeding one sq.foot, hot water line, refrigerator exceeding 10 cu.ft., garbage disposal, dishwasher, device designed for cooking or heating of food, total counter space exceeding 10 sq. feet. Counter finish per owner's requirements.
  40. Built-in shelving, verify with owner's.
  41. Provide 42" guardrails with less than 4" clear spacing between intermediate rails when the walking surface is higher than 30" above adjacent grade.
  42. Tempered Glass "T".
  43. Elevator Requirements: Ensure that pit depth and overhead clearance is in accordance with ASME A17.1 requirements. Separate mechanical permit is required for elevator.

- GENERAL FLOOR PLAN NOTES**
- A. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (1205.1 & 1205.3). Every space intended for human occupancy shall be provided with natural ventilation by means of operable exterior wall openings not less than 4% of floor area. Mechanical ventilating systems may be permitted under Section 1204.3.
- B. Entry/exit door must open over a landing not more than 0.5" below the threshold. If the door does NOT swing over the landing, landing shall be not more than 7.75" below the threshold. Landing at a door shall have a length measured in the direction of travel of no less than 38".
- C. Stairways dimensions and construction:
- a. Maximum 7.75" & Minimum 4" rise - Minimum 10" run. (SEE DETAIL 1.2 & 3 SHEET A-10.3)
  - b. Minimum 6'-8" vertical headroom at tread nosing.
  - c. Minimum 36" clear width.
  - d. Handrails 34" to 38" high.
  - e. Provide stairway illumination. Min. 1 foot-candle at tread run
- D. State Fire Marshal approved smoke alarms (detectors) as shown must be provided. Smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. Smoke detectors shall be located in each sleeping room and hallway or area giving access to a sleeping room, and on each story and basement. A smoke detector shall be located in close proximity to stairways when sleeping areas are on upper level. Detectors should sound an alarm audible in all sleeping areas of the dwelling unit which they serve. Smoke alarms shall be interconnected so that actuation of one alarm will actuate all the alarms within the individual dwelling unit.
- E. Provide anti-graffiti finish within the first 9 ft. measured from grade at exterior walls and doors.
- F. Upon review if structural plans may not show non-structural framing, verify capacity to review all architectural sheets for clear understanding of work to be included in bid.
- G. Refer to reflected ceiling plans, building sections and interior elevations for furred ceilings.
- H. All exterior and interior studs shall be 2 x 6 framing or multiple runs of 2 x 6(4's) unless otherwise noted. Spacing and specifications per structural engineer.
- I. As required by Current Building Code, draft stops must be provided. Endored spaces in stud wall, partitions and furred walls shall have fire stops at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.
- J. Insulation: Provide R-19 Min. insulation at all exterior walls, including garage. Provide R-30 min. insulation in attic spaces. Refer to title 24 for additional requirements. Provide R-19 insulation at all interior walls and R-30 insulation between floors for sound control. Insulate around plumbing pipes.
- K. Attic ventilation equal to 1/150 s.f. of attic area is required.
- L. Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48mm) sheet steel and shall have no openings into the garage. 406.14
- M. Garage floor surface shall be of noncombustible materials or asphaltic paving materials. Garage walls and garage ceiling shall be 14R, Fire Rated.
- N. Building shall be fully sprinklered per NFPA 13d. The Sprinklering system shall be automatic type and approved by Plumbing Division prior to installation.
- N-1. Draft stop shall be provided in a concealed floor-ceiling assembly formed of combustible construction, unless the building is sprinklered with NFPA 13 sprinkler system (1000 of between draft stops) (717.3.2 & 3).
- O. Provide damp-proofing for all walls below grade that enclose usable space. Specify Research Report (RFR) or ICBO# for membrane.
- P. Water Heater must be strapped to wall (Sec.507.3, UPC). (SEE DETAIL 16 SHEET A-10.5)
- Q. Provide ultra flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- R. Provide 70 inch high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosures." 91.807.1.3, 91.2406.4(5), 91.1158.9.6.7.8
- S. A corrosion resistant screen is required below the sill of above earth or 2" above paved area 91.2505.05 (SEE DETAIL 6.8 & SHEET A-10.5)
- T. All flat roofs, decks, balconies shall slope a minimum of 2% toward drains. 1508.1 & 1611
- U. Provide a class A, fire-retardant flat roof and deck covering per Section 1505.1 and 15105.1. Use Enduro-Kote and Enduro-Flex Kote by Enduro Products, Inc." Class "A" fire retardant walking deck and roof covering LAR# 4/25261. (SEE SHEET A-RR01)
- V. 20 minutes Fire Rated Door (Solid core light filling). Self-Closing and Self-Latching Device. GPX Door Assembly with SuperLite II-XL by "Safe First". RFR# 25786 (SEE SHEET A-RR01)
- W. 90 minutes Fire Rated Door (Solid core light filling). Self-Closing and Self-Latching Device. GPX Door Assembly with SuperLite II-XL by "Safe First". RFR# 25786 (SEE SHEET A-RR01)
- X. The construction shall not resist a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- Y. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and ember in accordance with standard SFM 12-7A-1 (704A.3.1). Comply w/ VHFHSZ requirements.
- Z. Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VHFHSZ). It shall comply with requirements of Materials, systems & construction methods of Chapter 7A and Chapter 72. Read VHFHSZ Supplemental Notes on sheet A-N02.

**2017 LARC BUILDING CODE REQUIREMENTS:**

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170.158) (Separate plumbing permit is required).
- Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R308.3).
- Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R308.4)P
- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).
- Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Unit Skylight shall be labeled by a L.A. City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. Research Report not required. (R308.6.9)
- Water heater must be strapped to wall. (Sec. 507.3, LAPC)

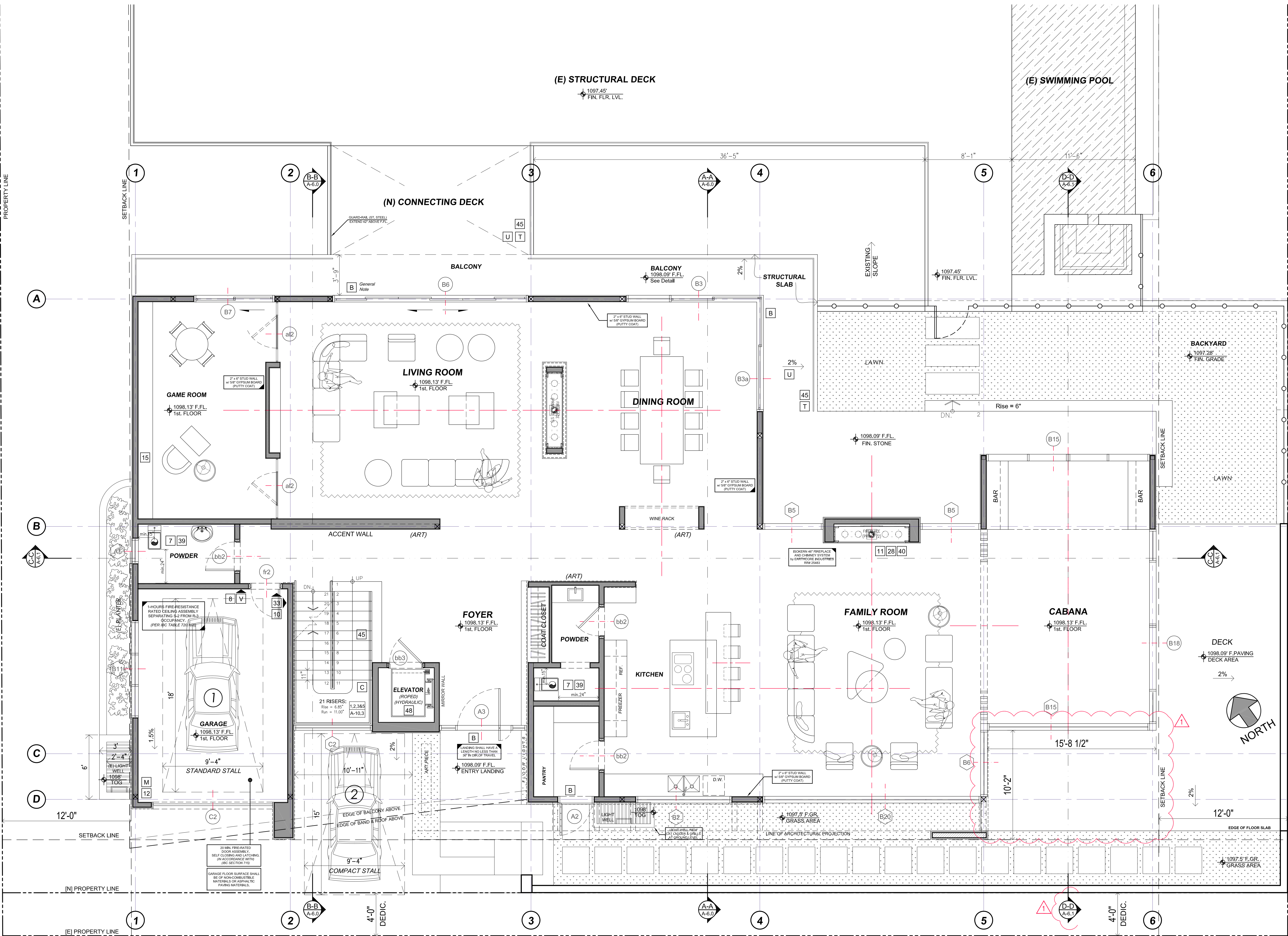
- For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 54" above the floor. (R109 of LABC)
- For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2877. (R309.4)
- Automatic garage door openers, if provided, shall be listed in accordance with UL 325. (R309.4)
- Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000), (R314.8.2)
- Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.2)
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
- A copy of the evaluation report and/or conditions of listing shall be made available at the job site.

**SUPPLEMENTAL "VHFHSZ" NOTES:**

- a. Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (7207.4.1.505)
- b. Volley flashings shall be not less than 0.019-inch (0.48 mm) No. 26 galvanized sheet gage, corrosion-resistant metal installed over a minimum 1/4" (6.35 mm) (94mm) underlayment consisting of one layer of No. 72 ASTM cop sheet turning the full length of the valley (705A.3)
- c. Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter (705A.4)
- d. (Roof) (A/C) (Exterior wall) vents shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4 inch (6 mm) openings or its equivalent. Vents shall not be installed in eaves and cornices (705A.1, 705A.2, 705A.3, 7207.3)
- e. Eaves and soffits shall meet the requirements of SFM 12-7A-3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside (707A.5.5)
- f. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (704A.3.1)
- g. Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking between rafters at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure (704A.3.1)
- h. Exterior windows, window walls, glazed doors, and glazed openings within exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 257, or conform to the performance requirements of SFM 12-7A-2 (708A.2.1)
- i. Exterior door assemblies shall conform to the performance requirements of standard SFM 12-7A-1 or shall be approved noncombustible construction, or solid core wood having stile and rail not less than 1 3/8 inches thick with interior field panel thickness not less than 1 3/8 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to AS/NFPA 252. (Exception: Noncombustible or exterior fire-retardant treated wood vehicle access doors) (708A.3)
- j. Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non-combustible or other approved materials per Sec.709.3.A

- k. The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior walls, or the projection shall be enclosed to the grade (707A.6)
- l. Buildings shall have all underfloor areas completely enclosed to the grade with construction as required for exterior walls (707A.8, 7207.1)
- m. All utilities, pipes, funnels, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction (7207.2)
- n. The space between the roof covering and roof decking shall be constructed to prevent the intrusion of flames and embers and be fire stopped per 705A.2
- o. No trellis is permitted within 10 feet of the primary structure.
- p. Trellis more than 10 feet from the primary structure shall be constructed of heavy timber or non-combustible materials. Minimum of 4 inches spacing is required between the members. (Information Bulletin No. 7/9C 2017-023).

NOTE: Comply with all VHFHSZ requirements (Sheet A-N02)



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CONSULTING ARCHITECTS & ENGINEERS  
4334 WILSHIRE BLVD. LOS ANGELES, CA 90048  
TEL. (323) 651-0047 FAX (323) 655-8416



REMOVED PROPOSED WATERFALL FROM THE 1st SUBMITTAL  
ADDED SECTION - D (SEE SHEET A-5.1)

NO.	DATE	REVISIONS (DESCRIPTION)
1	01-2021	FIRST FLOOR PLAN

**DRAWING TITLE**  
FIRST FLOOR PLAN

**JOB TITLE**  
1804 OZKA RESIDENCE

**JOB ADDRESS**  
1804 RIAL LANE, LOS ANGELES, CA 90077

**DRAWN BY**  
MM, GD, EL, JL

**OWNER/DEVELOPER**  
OZKA LLC

**DATE**  
JULY, 2021

**SCALE**  
1/4" = 1'-0"

**SHEET NUMBER**  
A-1.0



- KEY NOTES
- 36" x 30" roof access hatch. (SEE DETAIL 2 & 4 SHEET A-10.7)
  - 24" x 30" attic access.
  - Attic access with pull down ladder.
  - Screened under-floor vent.
  - Under-floor access.
  - Exhaust fan capable of providing five (5) complete air changes per hour. Vent exhaust fans to outside air (See mechanical plans).
  - Provide self-closing device on Fire Rated door (see door schedule SHEET A-8.0).
  - Line of exhaust hood above: Vent to outside with remote exhaust fans. Verify venting requirements with manufacturer specifications.
  - Provide 5/8" type "X" gypsum board on all garage walls, ceiling, posts and beams supporting dwelling and shall extend from top of concrete to, and including garage ceiling.
  - Fire blocking shall be installed at: (708.2.1)
    - Concealed space between stair stringers at top and bottom run.
    - At openings around vents, pipes, ducts, chimneys (non-combustible materials).
    - At openings between attic and chimneys chase for factory built chimneys.
  - For garage door opener, push button shall be pre-wired before gypsum board is installed.
  - 12" x 12" minimum access panel to bathtub trap connection with slip joints (94-B UPC); Solid trap at tubs without access panels must be provided.
  - Electrical sub panel: See electrical plans.
  - Built in cabinetry.
  - Washer: Recessed hot and cold water and drain standpipe must be provided. Floor drain under washer must also be provided.
  - Dryer: Weather hood vent with damper to outside air at roof must be provided. The vent duct shall be min. 4" dia. smooth galv. metal and is limited to 14'-0" with two elbows.
  - Water softener.
  - F.A.U. with night setback thermostat and summer fan switch: Combustion air vent and condensation line to outside air must be provided. If required, provide 20" plywood platform for unit (verify location with mechanical plans). See title 24 for size and model.
  - Gas fired hi-recovery water heater/ storage tank with circulating pump and R-5 insulation: Verify with title 24. For lateral support in the event of an earthquake, secure to wall framing with metal straps at top and bottom. For water softener, provide plumbing loops. Note: Provide 18" min. high wood platform with 5/8" type "X" gypsum board finish. (SEE DETAIL 16 SHEET A-10.5)
  - Phone panel: All lines to be home run.
  - Tub/ shower with stone on walls to ceiling height. Shower pan shall be not mopped with 4" built up dam.
  - Shower with stone on walls to ceiling height: Shower pan shall be not mopped with 4" built up dam.
  - Provide tempered glass shower enclosure - See specifications.
  - Soap and shampoo niche.
  - Built-in whirlpool tub: Deck, skirt and splash must be provided. As required, provide wood framed platform with access to equipment. Electrical sub-contractor shall provide electrical supply and connections as required.
  - Steam shower - Mr. Steam model no. MS Super II. Enclosure shall be tempered glass with hopper window above door. (Finish ceiling with same material as walls and slope 0" per 1'-0".) Install steam unit per MRF recommendations.
  - Pre-fabricated fireplace unit: ISOKERN 46" fireplace and chimney system by EARTHCORE INDUSTRIES. RRF# 25483. Fuel gas and loose key valve must be provided. Approved spark arrester at chimney termination must also be provided. Provide combustion air intake as required and glass enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.8)
  - Metal firebox with herringbone brick pattern & Selkirk metalbestos #SSII flue system built in accordance with the structural plans. Provide combustion air as required. Provide fuel gas with loose key valve. Provide glass enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.11)
  - Verify with owner if "Instant-hot" dispenser and water filtration system shall be provided.
  - Provide purified cold water supply line to ice-maker with recessed shut off valve. Verify with manufacturer.
  - Cooking Pot Filler faucet. (Location: Kitchen).
  - 1-hour fire-resistance-rated wall separating U from R-3 occupancy (per IBC T 720.1(2)).
  - 2-hours fire-resistance-rated wall separating S-2 from R-3 occupancy (per IBC T 720.1(2)).
  - 2-hours fire-resistance-rated floor/ceiling assembly separating S-2 from R-3 occupancy (per IBC Table 720.1(3)).
  - Archway/doorway above (See elevations).
  - GPX Door Assembly with SuperLite II-XL by "Safe First". RRF# 25786
  - Decorative niche. Verify owner's requirements.
  - Provide 15" minimum between the center of water closet to any side wall and 24" clear space in front.
  - Provide spark arrester in chimneys of all fire places w/ openings not to exceed 1/2 inches. Fire code section 1109.7 and U.B.C. section 6403.5 & section 3102.3.8 U.B.C. section (max. 1/2 inch screen).
  - 41.
  - Wet bar should NOT include any of the following items: natural gas outlet, 220 AC at outlet, double sink, bar sink exceeding one sq. foot, hot water line, refrigerator exceeding 10 cub.f., garbage disposal, dishwasher, device designed for cooking or heating of food, total counter space exceeding 10 sq. feet. Counter finish per owner's requirements.
  - Built-in shelving. verify with owner's.
  45. Provide 42" guardrails with less than 4" clear spacing between intermediate rails when the walking surface is higher than 30" above adjacent grade.
  46. Tempered Glass "T"
  - 47.
  - Elevator Requirements: Ensure that pit depth and overhead clearances is in accordance with ASME A17.1 requirements. Separate mechanical permit is required for elevator.

#### GENERAL FLOOR PLAN NOTES

- A. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (1205.1 & 1205.3). Every space intended for human occupancy shall be provided with natural ventilation by means of operable exterior wall openings not less than 4% of floor area. Mechanical ventilating systems may be permitted under Section 1204.3).
- B. Entry/exit door must open over a landing not more than 0.5' below the threshold. If the door does NOT swing over the landing, landing shall be not more than 7.75' below the threshold. Landing at a door shall have a length measured in the direction of travel of no less than 36".
- C. Stairways dimensions and construction:
- Maximum 7.75' & Minimum 4" rise - Minimum 10" run. (SEE DETAIL 1, 2 & 3 SHEET A-10.3)
  - Minimum 6'-6" vertical headroom at tread nosing.
  - Minimum 36" clear width.
  - Handrails 34" to 38" high.
  - Provide stairway illumination. Min. 1 foot-candle at tread run
- D. State Fire Marshall approved smoke alarms (detectors) as shown must be provided. Smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. Smoke detectors shall be located in each sleeping room and hallway or area giving access to a sleeping room, and on each story and basement. A smoke detector shall be located in close proximity to stairways when sleeping areas are on upper level. Detectors should sound an alarm audible in all sleeping areas of the dwelling unit which they serve. Smoke alarms shall be interconnected so that actuation of one alarm will actuate all the alarms within the individual dwelling unit.
- E. Provide anti-Graffiti finish within the first 9 ft. measured from grade at exterior walls and doors.
- F. Upon review if structural plans may not show non-structural framing, rough carpenter to review all architectural sheets for clear understanding of work to be included in bid.
- G. Refer to reflected ceiling plans, building sections and interior elevations for furred ceilings.
- H. All exterior and interior studs shall be 2 x 6 framing or multiple rows of 2 x 6 (4's) unless otherwise noted. Spacing and specifications per structural engineer.
- I. As required by Current Building Code, draft stops must be provided. Enclosed spaces in stud wall, partitions and furred walls shall have fire stops at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.
- J. Insulation: Provide R-19 Min. insulation at all exterior walls, including garage. Provide R-30 min. insulation in attic spaces. Refer to title 24 for additional requirements. Provide R-19 insulation at all interior walls and R-30 insulation between floors for sound control. Insulate around plumbing pipes.
- K. Attic ventilation equal to 1/150 s.f. of attic area is required.
- L. Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.0194-inch (0.48mm) steel sheet and shall have no openings into the garage. 406.14
- M. Garage floor surface shall be of noncombustible materials or asphaltic paving materials. Garage walls and garage ceiling shall be 1-HR. Fire Rated.
- N. Building shall be fully sprinklered per NFPA 134. The Sprinkler System shall be automatic type and approved by Plumbing Division prior to installation.
- N-1. Draft stop shall be provided in a concealed floor-ceiling assembly formed of combustible construction, unless the building is sprinklered with NFPA 13 sprinkler system (1003 of between draft stops) (717.2.2.8.3).
- O. Provide damp-proofing for all walls below grade that enclose usable space." Specify Research Report (RR# or ICBO#) for membrane.
- P. Water Heater must be strapped to wall (Sec.507.3, UPC). (SEE DETAIL 16 SHEET A-10.5)
- Q. Provide ultra flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- R. Provide 70 inch high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure. 91.807.1.3, 91.2406.4(5), 91.1115B.9.6.7.8
- S. A corrosion resistant vent required below the stucco minimum of 4" above earth or 2" above paved area 91.2506.05 (SEE DETAIL 8 & 4 SHEET A-10.5)
- T. All flat roofs, decks, balconies shall slope a minimum of 2% toward drains. 1506.1 & 1611
- U. Provide a class A, fire-retardant flat roof and deck covering per Section 1505.1 and 11505.1. Use Enduro-Kote and Enduro-Flex Kote by "Enduro Products, Inc.". Class "A" fire retardant walking deck and roof covering. LAR# #25251. (SEE SHEET A-RR01)
- V. 20 minutes Fire Rated Door (Solid core tight fitting). Self-Closing and Self-Latching Device. GPX Door Assembly with SuperLite II-XL by "Safe First". RRF# 25786 (SEE SHEET A-RR01)
- W. 90 minutes Fire Rated Door (Solid core tight fitting). Self-Closing and Self-Latching Device. GPX Door Assembly with SuperLite II-XL by "Safe First". RRF# 25786 (SEE SHEET A-RR01)
- X. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- Y. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (704A.3.1). Comply w/ VHFHSZ requirements.
- Z. Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VHFHSZ). It shall comply with requirements of Materials, systems & construction methods of Chapter 7A and Chapter 72. Read VHFHSZ Supplemental Notes on sheet A-N02.

#### 2017 LARC BUILDING CODE REQUIREMENTS:

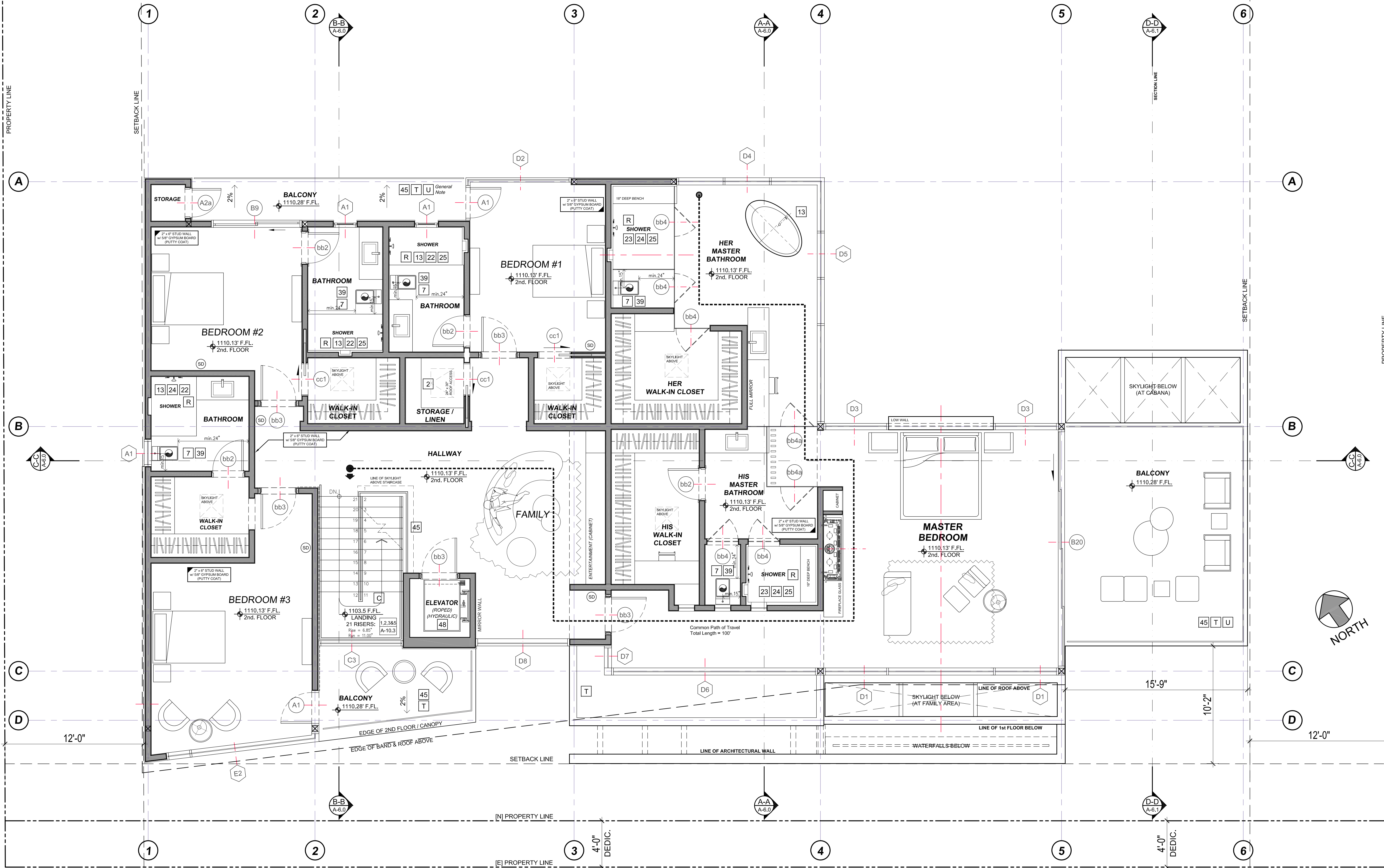
- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170.158) (Separate plumbing permit is required).
- Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R308.3).
- Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4.1).
- Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.2)
- Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Unit Skylight shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. Research Report not required). (R308.6.9)
- Water heater must be strapped to wall. (Sec. 507.3, LAPC)
- For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 sec. max.) for a single opening. The deactivation switch shall be at least 54" above the floor. (6109 of LABC)
- For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2977. (31628)
- Automatic garage door openers, if provided, shall be listed in accordance with UL 325. (R309.4)
- Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.6.2)
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
- A copy of the evaluation report and/or conditions of listing shall be made available at the job site.

#### SUPPLEMENTAL "VHFHSZ" NOTES:

- Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (7207.4, 1305)
- Vulcan flashing shall be not less than 0.019-inch (0.48 mm) (No. 26 galvanized sheet gage), corrosion-resistant metal installed over a minimum 3/4-inch-wide (19.1mm) underlayment consisting of one layer of No. 72 ASTM cop sheet running the full length of the valley (705A.3)
- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter (705A.4)
- [Roof] (ATC) (Exterior wall) vents shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4-inch (6.4 mm) openings or its equivalent. Vents shall not be installed in eaves and cornices (706A.1, 706A.2, 706A.3, 7207.3)
- Eaves and soffits shall meet the requirements of SFM 12-7A-3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside (707A.5.5)
- Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (707A.3.1)
- Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking between rafters at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure (704A.3.1)
- Exterior windows, window walls, glaze doors, and glazed openings within exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 257, or conform to the performance requirements of SFM 12-7A2 (708A.2.1)
- Exterior door assemblies shall conform to the performance requirements of standard SFM 12-7A-1 or shall be approved noncombustible construction, or solid core wood having tiles and rails not less than 1.38 inches thick with interior field panel thickness no less than 1.3 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to ASHRA 252. (Exception: Noncombustible or exterior fire-retardant treated wood vehicle access doors) (706A.3)
- Decking surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non-combustible or other approved materials per Sec. 709A.3

- The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior wall, or the projection shall be enclosed to the grade (707A.8)
- Buildings shall have all underfloor areas completely enclosed to the grade with construction as required for exterior walls (707A.8, 7207.1)
- All utilities, pipes, furnaces, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction (7207.2)
- The space between the roof covering and roof decking shall be constructed to prevent the intrusion of flames and embers and be fire stopped per 705A.2.
- No trellis is permitted within 10 feet of the primary structure.
- Trellis more than 10 feet from the primary structure shall be constructed of heavy timber or non-combustible materials. Minimum of 4 inches spacing is required between the members. (Information Bulletin No. P/BC 2017-023).

NOTE: Comply with all VHFHSZ requirements (Sheet A-N02)



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CONSULTING ARCHITECTS & ENGINEERS

4334 WILSHIRE BLVD. LOS ANGELES CA 90048  
TEL (323) 651-0047 FAX (323) 655-8416



NO.	DATE	REVISIONS (DESCRIPTION)
1		
2		
3		
4		
5		
6		

DRAWING TITLE	SECOND FLOOR PLAN
JOB TITLE	1804 OZKA RESIDENCE
JOB ADDRESS	1804 RIAL LANE, LOS ANGELES, CA 90077
DRAWN BY	MM, GD, EL, JL
OWNER/DEVELOPER	OZKA LLC
DATE	JULY, 2021
SCALE	1/4" = 1'-0"
SHEET NUMBER	A-2.0



- KEY NOTES
- 36" x 30" roof access hatch. (SEE DETAIL 2 & 4 SHEET A-10.7)
  - 24" x 30" attic access.
  - Attic access with pull down ladder.
  - Screened under-floor vent.
  - Under-floor access.
  - Exhaust fan capable of providing five (5) complete air changes per hour. Vent exhaust fans to outside air. (See mechanical plans).
  - Provide self-closing device on Fire Rated door (see door schedule SHEET A-8.0).
  - Line of exhaust hood above: Vent to outside with remote exhaust fans. Verify venting requirements with manufacturer specifications.
  - Provide 5/8" type "X" gypsum board on all garage walls, ceilings, posts and beams supporting dwelling and shall extend from top of concrete to, and including garage ceiling.
  - Fire blocking shall be installed at: (708.2.1)
    - Concealed space between stair stringers at top and bottom run.
    - At openings around vents, pipes, ducts, chimneys (non-combustible materials).
    - At openings between attic and chimneys chase for factory built chimneys.
  - For garage door opener, push button shall be pre-wired before gypsum board is installed.
  - 12" x 12" minimum access panel to bathtub trap connection with slip joints (94-B UPC). Solid trap at tubs without access panels must be provided.
  - Electrical sub panel. See electrical plans.
  - Built in cabinetry.
  - Washer: Recessed hot and cold water and drain standpipe must be provided. Floor drain under washer must also be provided.
  - Dryer: Weather hood vent with damper to outside air at roof must be provided. The vent duct shall be min. 4" dia. smooth galv. metal and is limited to 14'-0" with two elbows.
  - Water softener.
  - F.A.U. with night setback thermostat and summer fan switch: Combustion air vent and condensation line to outside air must be provided. If required, provide 20" plywood platform for unit (verify location with mechanical plans). See title 24 for size and model.
  - Gas fired H-recovery water heater/ storage tank with circulating pump and R-5 insulation: Verify with title 24. For lateral support in the event of an earthquake, secure to wall framing with metal straps at top and bottom. For water softener, provide plumbing loops. Note: Provide 18" min. high wood platform with 5/8" type "X" gypsum board finish. (SEE DETAIL 16 SHEET A-10.5)
  - Phone panel: All lines to be home run.
  - 12" x 12" minimum access panel to bathtub trap connection with slip joints (94-B UPC).
  - Shower with stone on walls to ceiling height: Shower pan shall be hot mopped with 4" built up dam.
  - Provide tempered glass shower enclosure - See specifications.
  - Soap and shampoo niche.
  - Built-in whirlpool tub: Deck, skirt and splash must be provided. As required, provide wood framed platform with access to equipment. Electrical sub-contractor shall provide electrical supply and connections as required.
  - Steam shower - Mr. Steam model no. MS Super II: Enclosure shall be tempered glass with hopper window above door. (Finish ceiling with same material as walls and slope 7" per 1'-0"). Install steam unit per MRF recommendations.
  - Pre-fabricated fireplace unit: ISOKERN 46" fireplace and chimney system by EARTHCORE INDUSTRIES, RRP# 25483. Fuel gas and loose key valve must be provided. Approved spark arrester at chimney termination must also be provided. Provide combustion air intake as required and glass enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.8)
  - Metal firebox with herringbone brick pattern & Selkirk metalbestos #SSII flue system built in accordance with the structural plans. Provide combustion air as required. Provide fuel gas with loose key valve. Provide glass enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.11)
  - Verify with owner if "Instant-hot" dispenser and water filtration system shall be provided.
  - Provide purified cold water supply line to ice-maker with recessed shut off valve. Verify with manufacturer.
  - Cooking Pot filler faucet. (Location: Kitchen).
  - 3-hour fire-resistance-rated wall separating U from R-3 occupancy (per IBC T 720.1(2)).
  - 2-hours fire-resistance-rated wall separating S-2 from R-3 occupancy (per IBC T 720.1(2)).
  - 2-hours fire-resistance-rated floor/ceiling assembly separating S-2 from R-3 occupancy (per IBC Table 720.1(3)).
  - Archway/doorway above (See elevations).
  - GPX Door Assembly with SuperLite II-XL by "Safe First", RRP# 25786
  - Decorative niche. Verify owner's requirements.
  - Provide 15" minimum between the center of water closet to any side wall and 24" clear space in front.
  - Provide spark arrester in chimneys of all fireplaces w/ openings not to exceed 1/2 inches. Fire code section 1109.7 and U.B.C. section 6403.5 and section 3102.3.8 U.B.C. section (max. 1/2 inch screen).
  - Wet bar should NOT include any of the following items: natural gas outlet, 220 AC oil outlet, double sink, bar sink exceeding one sq foot, hot water line, refrigerator exceeding 10 cub.ft., garbage disposal, dishwasher, device designed for cooking or heating of food, total counter space exceeding 10 sq. feet. Counter finish per owner's requirements.
  - Built-in shelving, verify with owner's.
  - Provide 42" guardrails with less than 4" clear spacing between intermediate rails when the walking surface is higher than 30" above adjacent grade.
  - Tempered Glass "T"
  - Elevator Requirements: Ensure that pit depth and overhead clearance is in accordance with ASME A17.1 requirements. Separate mechanical permit is required for elevator.

#### GENERAL FLOOR PLAN NOTES

- A. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (1205.1 & 1205.3)
- B. Entry/exit door must open over a landing not more than 0.5' below the threshold. If the door does NOT swing over the landing, landing shall be not more than 7.75' below the threshold. Landing at a door shall have a length measured in the direction of travel of no less than 36".
- C. Stairways dimensions and construction:
- Maximum 7.75' & Minimum 10' run. (SEE DETAIL 1.2 & 3 SHEET A-10.3)
  - Minimum 6'-8" vertical headroom at tread nosing.
  - Minimum 36" clear width.
  - Handrails 34" to 38" high.
  - Provide stairway illumination. Min. 1 foot-candle at tread run.
- D. State Fire Marshall approved smoke alarms (detectors) as shown must be provided. Smoke alarms shall receive their primary power source from a building wiring and shall be equipped with battery back up and low battery signal. Smoke detectors shall be located in each sleeping room and hallway or areas giving access to a sleeping room, and on each story and basement. A smoke detector shall be located in close proximity to stairways when sleeping areas are on upper level. Detectors should sound an alarm audible in all sleeping areas of the dwelling unit which they serve. Smoke alarms shall be interconnected so that actuation of one alarm will actuate all the alarms within the individual dwelling unit.
- E. Provide anti-Graffiti finish within the first 9 ft. measured from grade at exterior walls and doors.
- F. Upon review if structural plans may not show non-structural framing, rough carpenter to review all architectural sheets for clear understanding of work to be included in bid.
- G. Refer to reflected ceiling plans, building sections and interior elevations for furred ceilings.
- H. All exterior and interior studs shall be 2 x 6 framing or multiple rows of 2 x 8(4)'s unless otherwise noted. Spacing and specifications per structural engineer.
- I. As required by Current Building Code, draft stops must be provided. Enclosed spaces in stud wall, partitions and furred walls shall have fire stops at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.
- J. Insulation: Provide R-19 Min. insulation at all exterior walls, including garage. Provide R-30 min. insulation in attic spaces. Refer to title 24 for additional requirements. Provide R-19 insulation at all interior walls and R-30 insulation between floors for sound control. Insulate around plumbing pipes.
- K. Attic ventilation equal to 1/150 s.f. of attic area is required.
- L. Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48mm) sheet steel and shall have no openings into the garage. 406.14
- M. Garage floor surface shall be of noncombustible materials or asphaltic paving materials. Garage walls and garage ceiling shall be 1-1/2" Fire Rated.
- N. Building shall be fully sprinklered per NFPA 13A.152. The Sprinkler System shall be automatic type and approved by Plumbing Division prior to installation.
- N-1. Draft stop shall be provided in a concealed floor-ceiling assembly formed of combustible construction, unless the building is sprinklered with NFPA 13 sprinkler system (1000 of between draft stops (717.3.2.8.3)).
- O. Provide damp-proofing for all walls below grade that enclose usable space.\* Speedy Research Report (RR# or ICBOR) for membrane.
- P. Water Heater must be strapped to wall (Sec.507.3, UPC). (SEE DETAIL 16 SHEET A-10.5)
- Q. Provide ultra flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- R. Provide 70 inch high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure. 91.807.1.3, 91.2406.4(5), 91.1156B.3.6,7,8
- S. A corrosion resistant weep screen is required below the slatco minimum of 4" above earth or 2" above paved area 91.2505.02 (SEE DETAIL 8 & 9 SHEET A-10.5)
- T. All flat roofs, decks, balconies shall slope a minimum of 2% toward drains.1506.1 & 1611
- U. Provide a Class A, fire-retardant flat roof and deck covering per Section 1505.1 and T1505.1. Use Enduro-Kote and Enduro-Flex Kote by "Enduro Products, Inc.", Class "A" fire retardant walking deck and roof covering. LAR# A 25261. (SEE SHEET A-R01)
- V. 20 minutes Fire Rated Door (Solid core tight fitting), Self-Closing and Self-Latching Device. GPX Door Assembly with SuperLite II-XL by "Safe First", RRP# 25786 (SEE SHEET A-R01)
- W. 90 minutes Fire Rated Door (Solid core tight fitting), Self-Closing and Self-Latching Device. GPX Door Assembly with SuperLite II-XL by "Safe First", RRP# 25786 (SEE SHEET A-R01)
- X. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- Y. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (704A.3.1). Comp'y w/ VPHFZ requirements.
- Z. Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VHFHSZ). It shall Comply with requirements of Materials, systems & construction methods of Chapter 7A and Chapter 72.
- Read VHFHSZ Supplemental Notes on sheet A-N102.

#### 2017 LARC BUILDING CODE REQUIREMENTS:

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170.158) (Separate plumbing permit is required).
- Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).
- Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4)P.
- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).
- Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Unit Skylight shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. Research Report not required). (R308.6.9)
- Water heater must be strapped to wall. (Sec. 507.3, LAPC)
- For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.). For a single opening. The deactivation switch shall be at least 54" above the floor. (R109 of LABC)
- For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2877. (R316B)
- Automatic garage door openers, if provided, shall be listed in accordance with UL 325. (R308.4)
- Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2.2)
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
- A copy of the evaluation report and/or conditions of listing shall be made available at the job site.

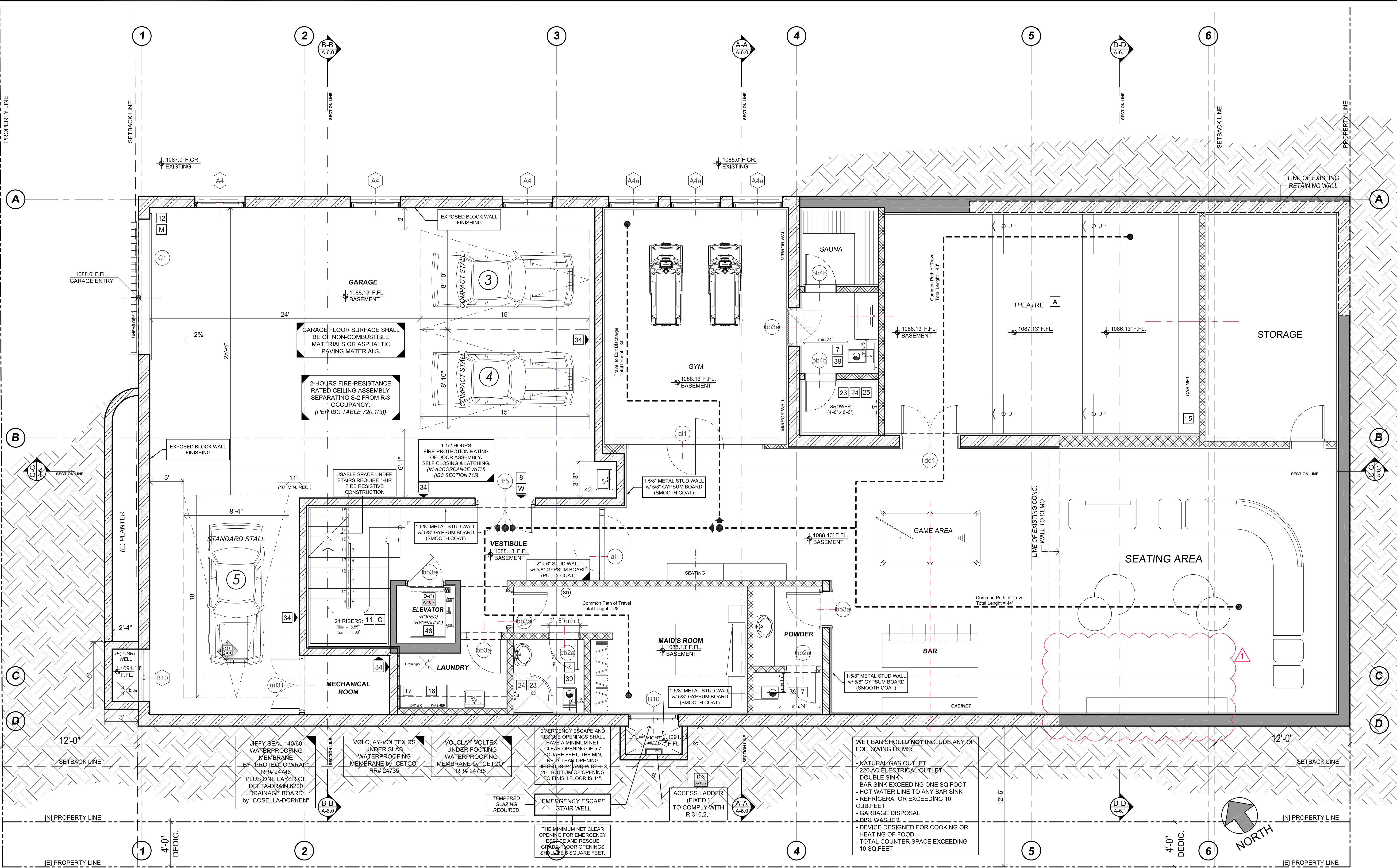
#### SUPPLEMENTAL "VHFHSZ" NOTES:

- Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (7207.4, 1505)
- Valley flashings shall be not less than 0.0194-inch (0.48 mm) (No. 26 galvanized metal (gpg)) corrosion-resistant metal installed over a area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction.(7207.2)
- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter (704A.4)
- Roof (A) (A) (Exterior wall) vents shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4 inch (6 mm) openings or its equivalent. Vents shall not be installed in eaves and cornices (704A.1, 704A.2, 704A.3, 7207.3)
- Eaves and soffits shall meet the requirements of SFM 12-7A-3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside (707A.5.5)
- Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (707A.3.1)
- Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking below eaves and at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure (704A.3.1)
- Exterior windows, window walls, glazed doors, and glazed openings within exterior doors shall be insulating units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 227, or conform to the performance requirements of SFM 12-7A-2 (708A.2.1)
- Exterior door assemblies shall conform to the performance requirements of standard SFM 12-7A-1 or shall be approved noncombustible construction, or solid core wood having stiles and rails not less than 1 3/8 inches thick with interior field panel thicknesses not less than 1 3/8 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to ANSPPA 223. (Exception: Noncombustible or exterior fire-retardant treated wood vehicle access doors) (708A.3)
- Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non-combustible or other approved materials per Sec.709A.2.
- The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior walls, or the projection shall be enclosed to the grade (707A.8)

- Buildings shall have all underfloor areas completely enclosed to the grade with construction as required for exterior walls (707A.8, 7207.1)
- All utilities, pipes, funnels, water heaters or other mechanical devices located in an exposed underfloor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction.(7207.2)
- The space below the floor covering and roof decking shall be constructed to prevent the intrusion of flames and embers and be fire stopped per 705A.2.
- No trills is permitted within 10 feet of the primary structure.
- Trills more than 10 feet from the primary structure shall be constructed of heavy timber or non-combustible materials. Minimum of 4 inches spacing is required between the members. (Information Bulletin No. JPRC 2017-023).

NOTE: Comply with all VPHFZ requirements (Sheet A-N102)

- LEGEND:
- (E) CONCRETE WALL
  - (N) CONCRETE WALL



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CONSULTING ARCHITECTS & ENGINEERS  
4234 WILSHIRE BLVD. LOS ANGELES, CA 90048  
TEL: (323) 651-0007 FAX: (323) 655-8416

REGISTERED ARCHITECT  
HAFCO GROUP, INC.  
NO. 0013577  
EXP. 10/31/21  
STATE OF CALIFORNIA

NO.	DATE	REVISIONS (DESCRIPTION)
1	01-2021	REVISED PROPOSED WATERFALL FROM THE 1st SUBMITTAL ADDED SECTION - D (SEE SHEET A-5.1)
2		
3		
4		
5		
6		

DRAWING TITLE  
**BASEMENT FLOOR PLAN**

JOB TITLE  
**1804 OZKA RESIDENCE**

JOB ADDRESS  
**1804 RIAL LANE, LOS ANGELES, CA 90077**

DRAWN BY  
**MM, GD, EL, JL**

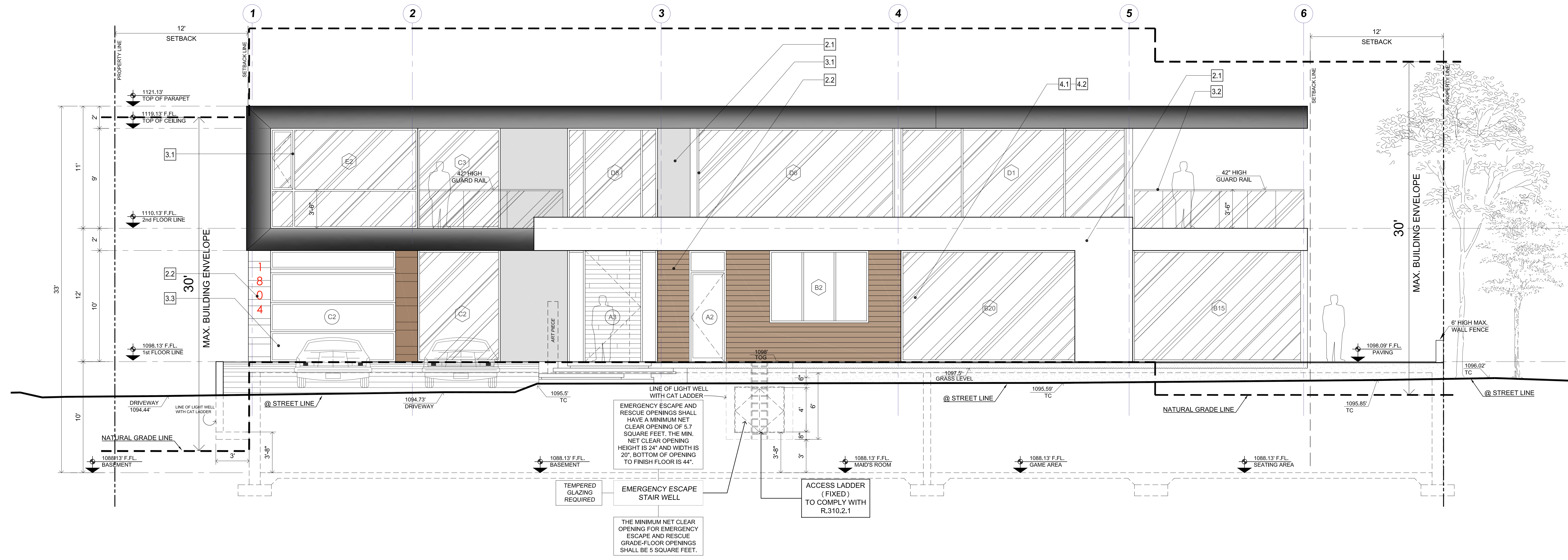
OWNER/DEVELOPER  
**OZKA LLC**

DATE  
**JULY, 2021**

SCALE  
**1/4" = 1'-0"**

SHEET NUMBER  
**A-3.0**

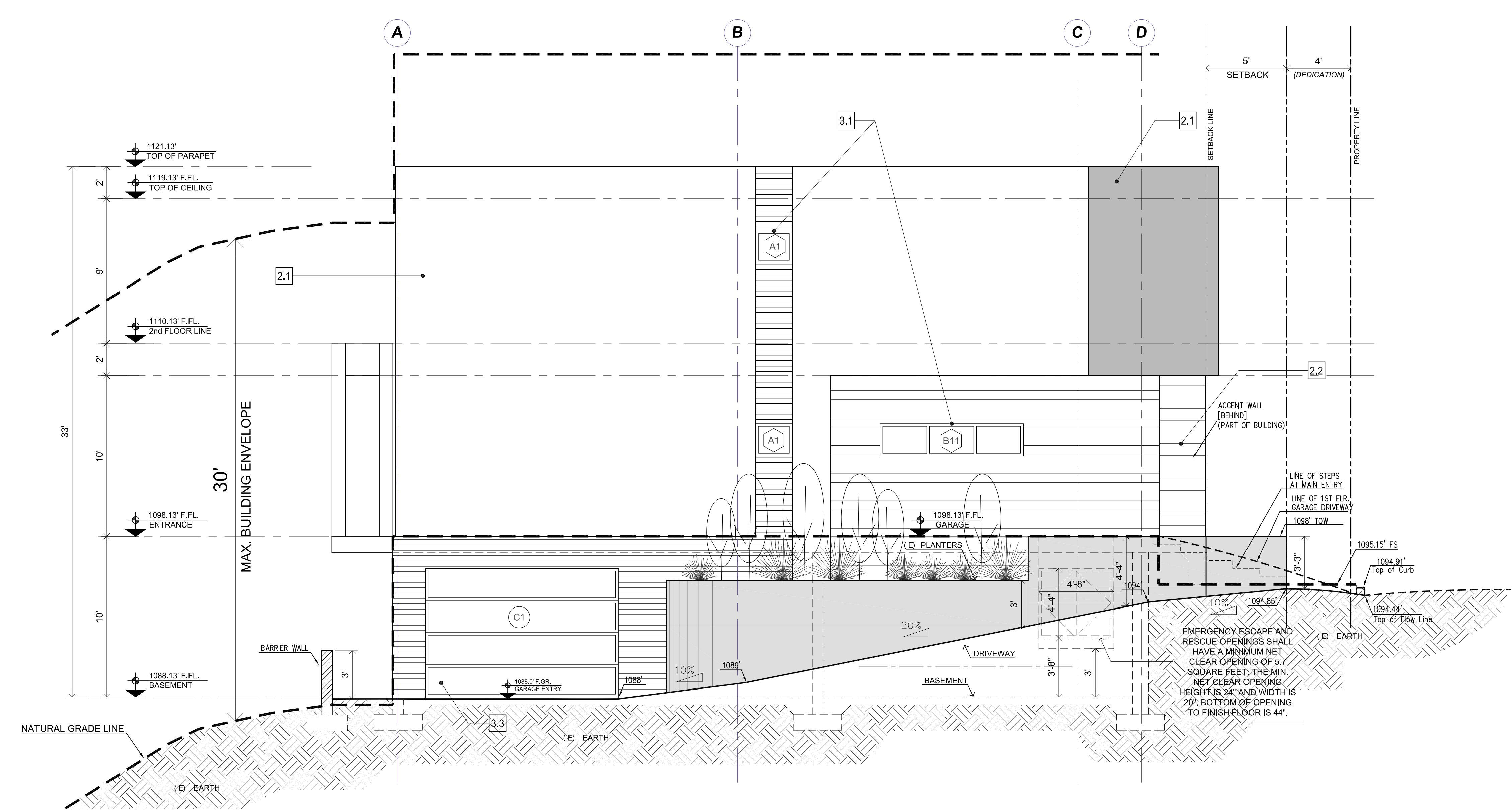




FRONT ELEVATION SOUTH

- SUPPLEMENTAL "VHHSZ" NOTES:**
- Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (2207-A.1502)
  - Valley floorings shall be not less than 0.019-inch (0.48 mm) (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 3/4-inch-wide (19.4mm) underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley. (705A.3)
  - Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. (705A.4)
  - (Roof) (Attic) (Clerestory wall) vents shall resist the intrusion of flame and ember into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4 inch (6 mm) openings or its equivalent. Vents shall not be installed in eaves and cornices. (705A.1, 705A.2, 705A.3, 7207.3)
  - Eaves and soffits shall meet the requirements of SM 127A-3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside. (707A.5.5)
  - Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flame and ember in accordance with standard SM 127A-1. (707A.3.1)
  - Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking between rafters or at roof overhangs, or in the case of enclosed eaves, terminate at the enclosure. (705A.3.1)
  - Exterior windows, window walls, glaze doors, and glazed openings within exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 257, or conform to the performance requirements of SM 127A-2. (705A.2.1)
  - Exterior door assemblies shall conform to the performance requirements of standard SM 127A-1 or shall be approved noncombustible construction, or solid core wood having tiles and rails not less than 1.38 inches thick with interior panel thickness no less than 1.3 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to AS/NFPA 252. (Exception: Noncombustible or exterior fire-retardant treated wood vehicle access doors) (705A.3)
  - Decking, surfaces, stair treads, riser, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non-combustible or other approved materials per Sec 709A.3
  - The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior walls, or the projection shall be enclosed to the grade. (707A.8)
  - Buildings shall have all underfloor areas completely enclosed to the grade with construction as required for exterior walls. (707A.8, 7207.1)
  - All utilities, pipes, fumances, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction. (7207.2)
  - The space between the roof covering and roof decking shall be constructed to prevent the intrusion of flame and ember and be fire stopped per 705A.2.
  - No trails are permitted within 10 feet of the primary structure.
  - Trails more than 10 feet from the primary structure shall be constructed of heavy timber or non-combustible materials. Minimum of 4 inches spacing is required between the members. (Information Bulletin No. 718C 2017-023).
- NOTE: Comply with all VHHSZ requirements (Sheet A-N02)
- KEY NOTES**
- 1 - ROOF**
    - 1.1 Built-up Roofing
  - 2 - FINISHES**
    - 2.1 Exterior Wall finish by Merfex Stucco "1 1/2 P-122"
    - 2.2 1/2" x 4" Horizontal Board "Red Wood"
    - 2.3 Concrete Finish
    - 2.4 Stone Veneer by Coronado Stone Type: Country Castle Color: Lompoc
  - 3 - METAL**
    - 3.1 Aluminum Framing (Doors and Windows)
    - 3.2 Stainless Steel Railing
    - 3.3 Steel Insulated Sectional Garage Door
  - 4 - GLASS**
    - 4.1 Tempered Glass (Typical)
    - 4.2 Insulated Glass
    - 4.3 Glass Railing Panels shall be 3/4" Thk. Minimum
  - 5 - MASONRY**
    - 5.1 Block Wall
    - 5.2 Retaining Wall
  - 6 - LIGHTING**
    - 6.1 Illuminated Steps
- NOTE: Provide anti-graffiti finish within the first 9 ft. measured from grade at exterior walls and doors.

- GLAZING NOTES:**
- Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R030.3 (see exceptions) (R030.4):
    - Fixed and operable panels of swinging, sliding and bi-fold door assemblies.
    - Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within 24 inches of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface.
    - Glazing in an individual fixed or operable panel that meets all of the following conditions:
      - Exposed area of an individual pane greater than 9 square feet.
      - Bottom edge less than 18 inches above the floor.
      - Top edge greater than 36 inches above the floor.
      - One or more walking surfaces within 36 inches horizontally of the glazing.
  - Glazing in railings.
  - Glazing in enclosures for or walk facing hot tubs, whirlpools, spas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.
  - Glazing in walls and fences adjacent to indoor and outdoor swimming pools, hot tubs and spa where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.
  - Glazing adjacent to stairways, landings and ramps within 36 inches horizontally of a walking surface when the surface of the glazing is less than 60 inches above the plane of the adjacent walking surface.
  - Glazing adjacent to stairways within 60 inches horizontally of the bottom tread of a stairway in any direction when the exposed surface of the glazing is less than 60 inches above the nose of the tread.



LEFT SIDE ELEVATION EAST

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DRAWING TITLE  
ELEVATIONS

DATE  
JULY, 2021

SCALE  
1/4" = 1' - 0"

DRAWN BY  
MM, GD, EL, JL

JOB TITLE  
1804 OZKA RESIDENCE

JOB ADDRESS  
1804 RIAL LANE, LOS ANGELES, CA 90077

OWNER / DEVELOPER  
OZKA LLC

JOB NUMBER

SHEET NUMBER  
A-5.0



REAR ELEVATION	SCALE:	NORTH
	1/4" = 1'-0"	

SUPPLEMENTAL "VFHSZ" NOTES:

a. Class A roof covering is required for all buildings. Wood shakes and shingles are not permitted. (207A.1, A.105)

b. Valley flashings shall be not less than 0.019-in. (0.48 mm) No. 26 galvanized steel gage) and noncombustible material installed over a minimum 5/8-inch-thick (914-mm) underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley (205A.2).

c. Roof gutters shall be provided in accordance with the means to prevent the accumulation of leaves and debris in the gutter (205A.4).

d. Roofing materials shall be installed so that they shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with 1/4-inch (6 mm) openings or its equivalent. Vents shall not be installed in the roof or ceiling assembly.

e. Eaves and soffits shall meet the requirements of SFP 12-7A-3 or shall be protected by ignifiltrate/infiltrate materials or noncombustible construction on the exposed underside (207A.1).

f. Exterior walls shall be approved noncombustible or ignifiltrate/resistant materials. Exterior walls shall be constructed in accordance with the minimum fire-resistance ratings and embers in accordance with standard SFP 12-7A-1 (207A.3.1).

g. Exterior wall coverings shall extend from the foot of foundation to the roof, and terminate at a 2-inch (51-mm) overhang. If the exterior wall is not constructed of roof overhangs, or in the case of closed eaves, terminate at the enclosure (207A.3.1).

h. Exterior windows, window walls, glaze doors, and glazed openings within exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 272, conform to the performance requirements of SFP 12-7A-2 (208A.2.1).

i. Exterior door assemblies shall conform to the performance requirements of standard SFP 12-7A-1 or shall be approved noncombustible construction, or solid core wood having stiles and rails not less than 1 3/8 inches thick with exterior finish panels of not less than 1/2 inch thick. Exterior doors shall have a fire-resistance rating of not less than 20 minutes when tested according to ASPNFA 252. (Exception: Noncombustible or exterior fire-retardant treated wood vehicle storage structures) (208A.2.1).

j. Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of non-combustible or approved materials per sec.709A.3.

k. The underside of eaves and overhanging appendages and floor projections shall maintain the ignifiltrate/infiltrate integrity of exterior walls, or the projection shall be enclosed to the grade (207A.8).

l. Buildings with full height exterior walls shall be fully enclosed to the grade with construction as required for exterior wall. (207A.8, 2207.1)

m. All utilities, pipes, fumances, water heaters or other mechanical devices installed in an enclosed space shall be protected by fire-resisting shall be enclosed with materials as required for 1-hour fire-resisting construction (2207.2).

n. The space between the roof covering and the decking shall be constructed in accordance with the requirements for non-combustible or approved SFP 205A.2.

o. No holes is permitted within 10 feet of the primary structure.

p. The roof shall be constructed of non-combustible materials or constructed of heavy timber or non-combustible materials. Minimum of 4 inches spacing is required between the members. (Information Bulletin No. P/B/C 2017-023).

NOTE: Comply with all VFHSZ requirements (Sheet A-N2)

### GLAZING NOTES:

1. Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R308.3 (see exceptions) (R308.4):

- a. Fixed and operable panels of swinging, sliding and bifolds door assemblies.
- b. Glazing in an individual level of an open stairway adjacent to a door where the nearest vertical edge is within ±24-inch arc of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface.
- c. Glazing in an individual level or operable panel that meets all of the following conditions:
  - i. Exposed area of an individual panel greater than 9 square feet.
  - ii. Bottom edge less than 36 inches above the floor.
  - iii. Top edge greater than 36 inches above the floor.
  - iv. One or more walking surfaces within 36 inches horizontally of the glazing.
- d. Glazing in railings.
- e. Glazing in enclosures for or wall facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.
- f. Glazing in walk and fences adjacent to indoor and outdoor swimming pools, hot tubs and spas where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.

2. Glazing adjacent to stairways, landings and ramps within 36 inches horizontally of a walking surface where the surface of the glazing is less than 60 inches above the floor or walking surface shall be safety glazing.

3. Glazing adjacent to stairways within 60 inches horizontally of the bottom read of a stairway in any direction when the exposed surface of the glazing is less than 60 inches above the nose of the tread.

## KEY NOTES

## 1 - ROOF

- ### 1.1 Built-up Roofing

## 2 - FINISHES

- 2.1 Exterior Wall finish by  
Mertex Stucco  
"1 1/2 P-122"
- 2.2 1/2" x 4" Horizontal Board  
"Red Wood"

- ### 2.3 Concrete Finish

- 2.4** Stone Veneer by  
Coronado Stone  
Type: Country Castle  
Color: Lompoc

**NOTE:**  
Provide anti-Graffiti finish  
within the first 9 ft.  
measured from grade at  
exterior walls and doors.

## 3 - METAL

- 3.1 Aluminum Framing  
(Doors and Windows)
- 3.2 Stainless Steel Railing
- 3.3 Steel Insulated Section  
Garage Door

4 - GLASS

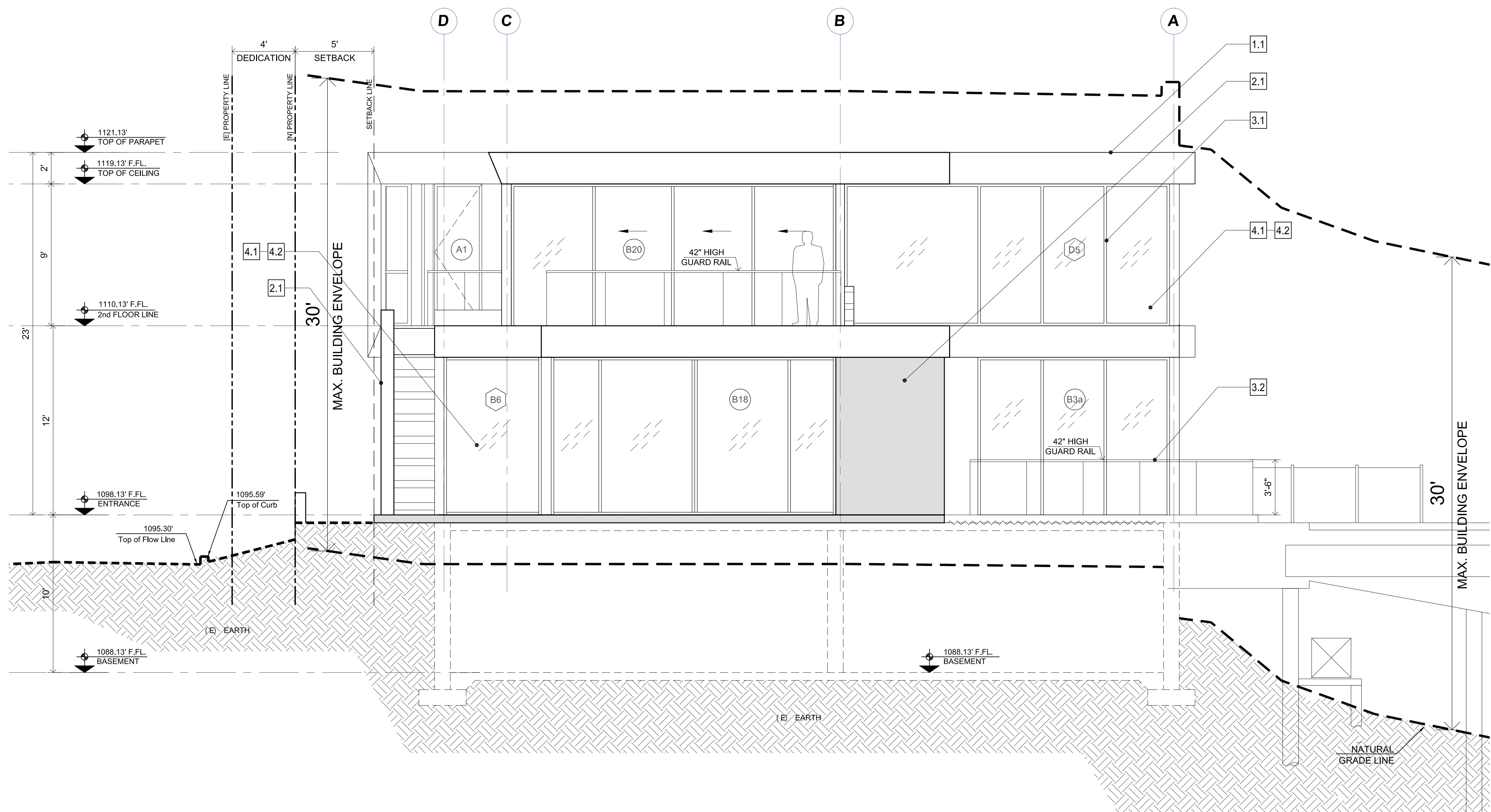
- 4.1 Tempered Glass (Typical)
- 4.2 Insulated Glass
- 4.3 Glass Railing Panels shall be  $\frac{1}{4}$ " Thk.

## 5 - MASONRY

- 5.1 Block Wall
- 5.2 Retaining Wall

## 6 - LIGHTING

- ### 6.1 Illuminated Steps



RIGHT SIDE ELEVATION	SCALE:	WEST
	1/4" = 1'-0"	

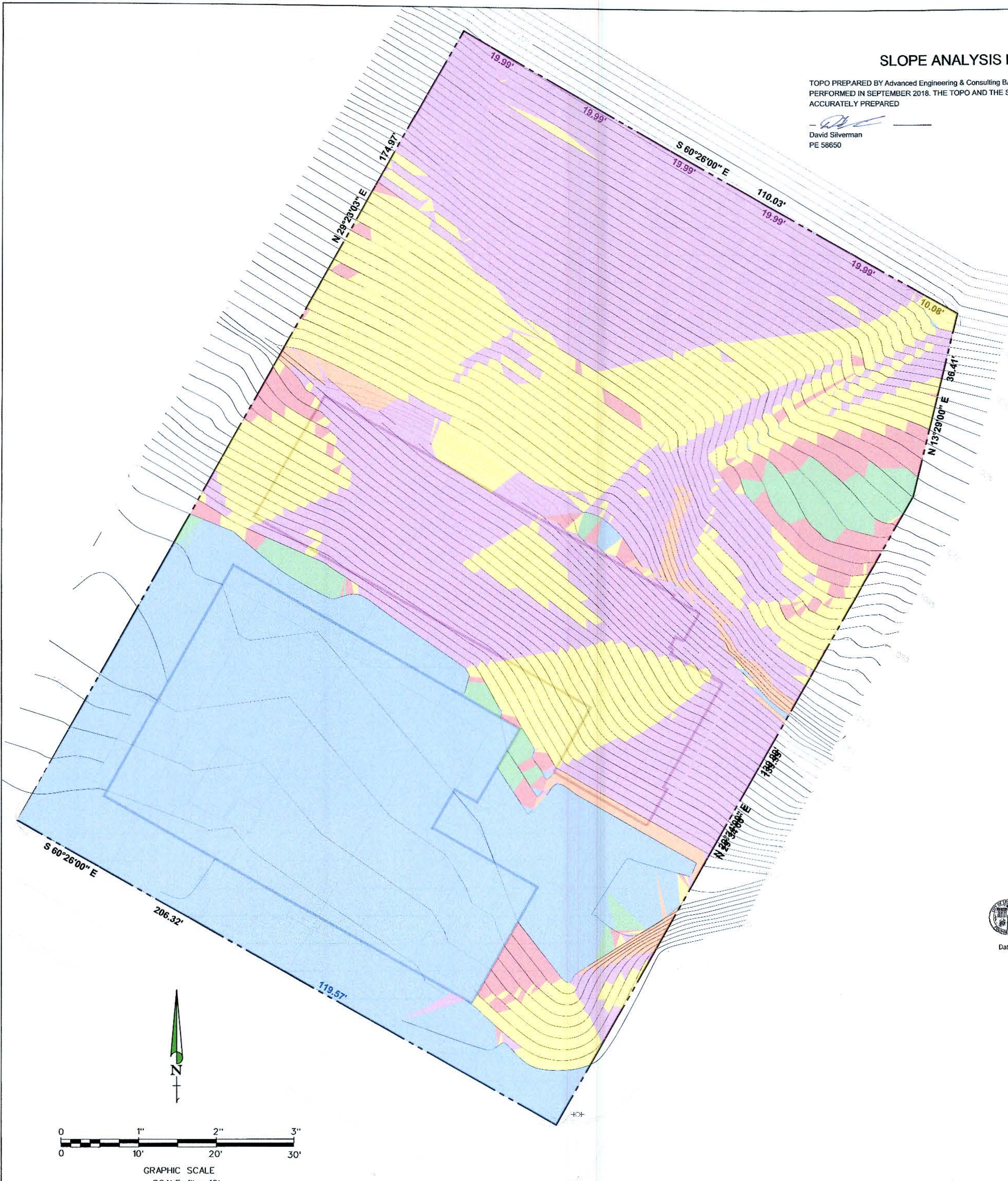
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SHEET NUMBER		DRAWING TITLE		NO. DATE		REVISIONS (DESCRIPTION)	
A-5.1		JULY, 2021		△ △			
SCALE		1/4" = 1' - 0"		△ △			
DRAWN BY		1804 OZKA RESIDENCE		△ △			
MM, GD, EL, JL		JOB ADDRESS		△ △			
		1804 RIAL LANE, LOS ANGELES, CA 90077		△ △			
JOB NUMBER		OWNER / DEVELOPER		△ △			
		OZKA LLC		△ △			





# SLOPE ANALYSIS MAP

TOPO PREPARED BY Advanced Engineering & Consulting BASED ON A FIELD SURVEY PERFORMED IN SEPTEMBER 2018. THE TOPO AND THE SLOPE ANALYSIS HAVE BEEN ACCURATELY PREPARED

David Silverman  
PE 58650

PLANS REVIEWED  
City of Los Angeles  
City Planning Department  
Date: 08/27/2020 By: [Signature]  
max RFA: 4,892.66 sq. ft.

## Department of Building and Safety / City Planning Slope Analysis and Maximum Residential Floor Area Verification Form

**SECTION I:** Name Applicant(s) / Property Owner(s): \_\_\_\_\_  
Address: \_\_\_\_\_ Phone Number: \_\_\_\_\_

**SECTION II:** Project Address: 1804 N. RIAL LANE LOS ANGELES CA 90077  
Lot: 15-20 Tract: 1033 APN: 4371 - 002 - 004

Proposed Project Description: (describe proposed work in detail)  
Single-Family Home

**SECTION III:** Circle the Zone of the project site in Table 1 or Table 2 and complete Worksheet 1.

Table 1 Single-Family Zone Hillside Areas Residential Floor Area Ratios (RFAR) [Table 12.21 C.10-2a]									
Slope Bands (%)	R1	R5	RE9	RE11	RE15	RE20	RE40	RA	
0 - 14.99	0.45	0.45	0.40	0.40	0.35	0.35	0.35	0.25	
15 - 29.99	0.45	0.40	0.35	0.35	0.30	0.30	0.30	0.2	
30 - 44.99	0.40	0.35	0.30	0.30	0.25	0.25	0.25	0.15	
45 - 59.99	0.35	0.30	0.25	0.25	0.20	0.20	0.20	0.10	
60 - 99.99	0.30	0.25	0.20	0.20	0.15	0.15	0.15	0.05	
100 +	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	

Table 2 Single-Family Zone Hillside Areas Residential Floor Area Ratios (RFAR) [Table 12.21 C.10-2b]				
Slope Bands (%)	R1H1	R1H2	R1H3	R1H4
0 - 14.99	0.65	0.55	0.45	0.40
15 - 29.99	0.60	0.50	0.45	0.35
30 - 44.99	0.55	0.45	0.40	0.30
45 - 59.99	0.50	0.40	0.35	0.25
60 - 99.99	0.45	0.35	0.30	0.20
100 +	0.00	0.00	0.00	0.00

Worksheet 1 Hillside Area Maximum Residential Area Formula [Table 12.21 C.10-2c]			
(A)	(B)	(C)	(D)
Slope Bands (%)	Lot Area within each Slope Band (sq. ft.) From survey/contour map	FAR From the Zone circled in Table 1 or Table 2	Maximum Residential Floor Area* allowed within each Slope Band
0 - 14.99	7007.81	X	2452.7335
15 - 29.99	547.24	X	184.172
30 - 44.99	846.73	X	211.6825
45 - 59.99	4838.79	X	687.758
60 - 99.99	7175.42	X	1076.313
100 +	371.51	X	0
Maximum Residential Floor Area			4892.659

\* Residential Floor Area shall be calculated as defined in LAMC Section 12.03.

April 3, 2017

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## Department of Building and Safety / City Planning Slope Analysis and Maximum Residential Floor Area Verification Form

I, David Silverman, the licensed professional Land Surveyor or Registered Civil Engineer in the State of California (License Number: 5680, Expiration Date: 12-31-20), Certify that all of the above information is correct.

Signature: [Signature] Date: 08-14-2020

**SECTION IV:** (To be completed by City Planning Staff)

Approved Maximum Residential Floor Area for the property listed below: 4892.659 (sq. ft.)

**Property Information:**  
Lot: 15-20 Tract: 1033  
Assessor Parcel number: 4371 002 004

**City Planning's Staff:**  
2 Sets of Slope Analysis Maps Stamped and Signed Yes ☒ No ☐

Name (Please Print): Louis Ortega  
Signature: [Signature] Date: 08/27/2020  
Notes: max RFA: 4,892.66 sq. ft.  
Approved for one development site

PLANS REVIEWED  
City of Los Angeles  
City Planning Department  
Date: 08/27/2020 By: [Signature]

April 3, 2017

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**Advanced Engineering & Consulting**  
22837 Ventura Blvd, Suite 100, Woodland Hills, CA 91364  
(818) 222-7982 / (818) 222-7986 fax

## TOPOGRAPHIC SURVEY

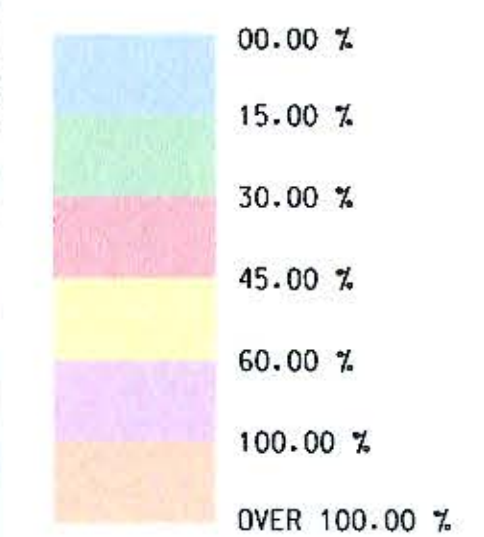
### LEGAL DESCRIPTION

LOT 15-20 0 OF  
TRACT 1033  
RECORDED IN BK18,  
PG 86-87OF MISCELLANEOUS  
RECORDS(MAPS)

### ADDRESS

1804 N. RIAL LANE,  
LOS ANGELES, CA 90077

ASSESSOR PARCEL NO.  
4371002004



Survey Date:  
JANUARY 2020

